



applying TAS

plan

how to apply TAS
accessible routes
primary function
clarifications
changes
prowag

1

2

3

4

5

6



applying TAS



section

how to
apply
TAS

A

B

C

D

E

F

G

ask if

Admin Rule 68.20

applies

Publicly Funded Facilities



ask if

Admin Rule 68.20

applies

Publicly Funded Facilities

State Leased Facilities



ask if

Admin Rule 68.20

applies

Publicly Funded Facilities

State Leased Facilities

Public Accommodations



68.20(c): Public Accommodations

1. place of lodging
2. restaurant/bar
3. place of exhibition/entertainment
4. place of public gathering
5. sales or rental establishment
6. service establishment
7. terminal, depot, station
8. place of recreation
9. place of public display or collection
10. place of education
11. social service establishment
12. place of exercise or recreation

ask if

Admin Rule 68.20

applies

Publicly Funded Facilities

State Leased Facilities

Public Accommodations

Commercial Facilities



68.20(d): Commercial Facilities

- Non-residential use
- Operations affect commerce

Office building
Factory
Warehouse



ask if

Admin Rule 68.20

applies

Publicly Funded Facilities

State Leased Facilities

Public Accommodations

Commercial Facilities

Religious Organizations





Be sure to check
Chapter 2

Scoping

extent of compliance
how many
where
when



TAS 201.1

TAS applies to ALL
new and altered elements and spaces
unless exempted or limited by scoping.

TECHNICAL
MEMO
2013

12

BOWLING ALLEY

Subject to TAS per 68.20(c)

Scoped in 206.2.11

At least 5% of lanes must comply.

HEALTH CARE PROVIDERS

Subject to TAS per 68.20(c)

Scoping- no exemptions

All exam rooms must be compliant.



See Chapter 3

Building Blocks

the basics of
accessibility

302 floor/ground surface

303 changes in level

304 turning space

305 clear floor space

306 knee and toe clearance

307 protruding objects

308 reach ranges

309 operable parts



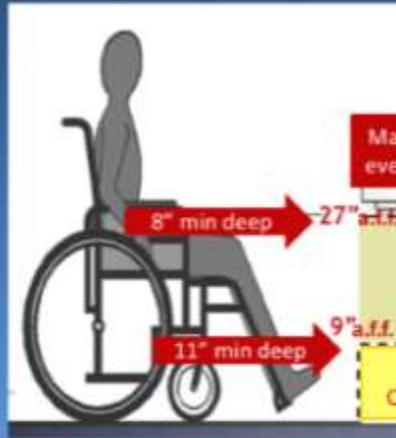
306 Knee & Toes Clearances

306.3.1 Knee Clearance

Space under an element between 9" and 27" a.f.f. is considered **knee clearance**. Knee clearance is:

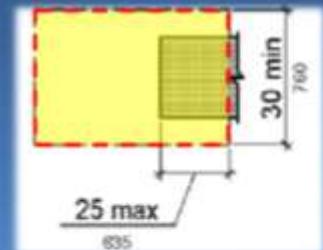
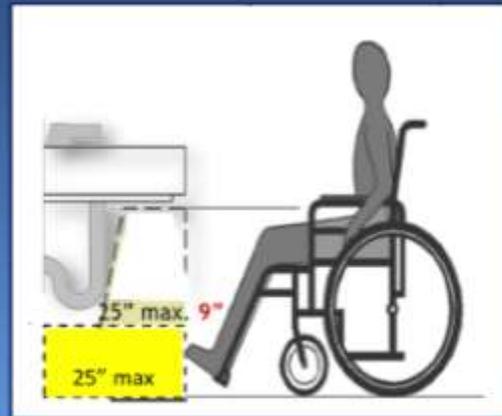
- **11" deep min**
@ 9" a.f.f.
- **8" deep min**
@ 27" a.f.f.

Can be reduced at a rate of 1" for each 6" in height.



306.3.2/306.2.2 Maximum Depth

Toe clearance may extend **25" max** under an element. Knee clearance may extend **25" max** under an element at 9" a.f.f.





Details are in Chapters 4-10

Technical Requirements

The details of what's required for
specific elements...

- 4 accessible routes
- 5 general site & building elements
- 6 plumbing
- 7 communication
- 8 special rooms, spaces & elements
- 9 built-in elements
- 10 recreation facilities





Chapter 3 & Chapters 4-10

why have
two types
of technical
sections?

how does
that work?

302 Floor or Ground Surfaces

302.1 General Floor or Ground Surfaces

Floor
surface

- Fir
- Sta
- Slip

302.2 Carpet, cont.

- Car
- leve
- Pile

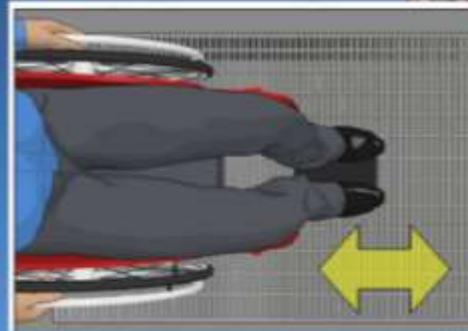
302.3 Openings

Openings in floor or ground surfaces shall not allow passage of a sphere more than $\frac{1}{2}$ " diameter.



302.3 Openings

Elongated openings shall be placed so that the long dimension is **perpendicular** to the dominant direction of travel.



Compliance with 302 required:

- **403.2 Floor or Ground Surface.** Walking surfaces. Floor or ground surfaces shall comply with 302.
- **404.2.4.4 Floor or Ground Surface.** Maneuvering clearances. Within required
- **404.2.5 Thresholds in doorways.** Thresholds in doorways shall
- **405.4 Floor or Ground Surface.** Ramp runs. Ramp runs shall
- **405.7.1 Slope.** Landings. Landings shall
- **407.4.2 Floor Surface.** Elevator cars. Elevator cars shall comply with 302 and
- **410.2 Floor Surface.** Platform lifts. Platform lifts shall comply with 302 and
- **502.4 Floor or Ground Surface.** Parking spaces & access aisles. Parking spaces and access aisles serving them
- **503.4 Floor and Ground Surface.** Pull up spaces & access aisles. Pull up spaces and access aisles
- **504.4 Thresholds in doorways.** Stair treads. Stair treads shall comply with 302.
- **802.1.1 Floor or Ground Surface.** Stair spaces in assembly areas. Stair spaces in assembly areas shall comply with 302.

walking surfaces
maneuvering clearances
thresholds in doorways
ramp runs
landings
elevator cars
platform lifts
parking spaces & access aisles
pull up spaces & access aisles
stair treads
stair spaces in assembly areas

shall comply with 302.



There is a process...

Ask if the law applies

Be sure to check Scoping

C (see) Chapter 3

Details are in 4 thru 10

A close-up photograph of the top of a school bus. The central focus is a yellow rectangular sign with the words "SCHOOL BUS" in large, bold, black capital letters. To the left and right of the sign are red circular headlights. The background shows the dark interior of the bus through the windshield.

SCHOOL BUS

Ask if the law applies

Be sure to check Scoping

C (see) Chapter 3

Details are in 4 thru 10

middle school

68.20(d)(10)





















211

drinking fountains

211 drinking fountains

211.1 General

“where provided”

Exception

- Except in holding/housing cells that aren't required to comply w/232

211 drinking fountains

211.1 General

211.2 Min Number

No fewer than 2

602.1-602.6

602.7

Exception

If one meets 602.1-602.6 and 602.7



211 drinking fountains

211.1 General

211.2 Min Number

No fewer than 2

602.1-602.6

602.7

Exception

If one meets 602.1-602.6 and 602.7

211 drinking fountains

602.1-602.6

211.1 General

602.7

211.2 Min Number

211.3 More Than Min Number

50/50

Exception

Odd #? Your choice.

211 drinking fountains

602.1-602.6

211.1 General

602.7

211.2 Min Number

211.3 More Than Min Number

211 drinking fountains

602.1 - 602.6

602.7

211 drinking fountains

602.1 - 602.6

211 drinking fountains

602.1 General

comply with 307 & 602

307 Protruding Object

211 drinking fountains

602.1 General 307

602.2 Clear Floor Space

305 forward approach, centered

306 knee & toe clearance

211 drinking fountains 305

306

602.1 General 307

602.2 Clear Floor Space

Exception

305 Parallel if children's use

Spout @ 30" a.f.f. & 3-1/2" from front

211 drinking fountains	305
	306
602.1 General	307
602.2 Clear Floor Space	
602.3 Operable Parts	
309 Operable Parts	

211 drinking fountains 305

306

602.1 General 307

602.2 Clear Floor Space 309

602.3 Operable Parts

602.4 Spout Height

36" max a.f.f.

211 drinking fountains 305

306

602.1 General 307

602.2 Clear Floor Space 309

602.3 Operable Parts

602.4 Spout Height

602.5 Spout Location

15" min from back

5" max from front

211 drinking fountains 305

306

602.1 General 307

602.2 Clear Floor Space 309

602.3 Operable Parts

602.4 Spout Height

602.5 Spout Location

602.6 Water Flow

4" high, 5" from front, 15-30°

Advisory- cup access

211 drinking fountains

602.1-602.6 (accessible)

305 CFS

306 Knee & Toe Clearance

307 Protruding Objects

309 Operable Parts

602.7 (standing)

Spout @ 38"-48" a.f.f.

drinking fountains

Ask if the law applies - Admin

Be sure to check Scoping 211

C (see) Chapter 3

Details are in ~~4 thru 10~~ 6



~~To~~
~~Too~~
Two

the second section

accessible routes

scoping



accessible
routes

*are
required
from*

arrival
points
like

PARKING



206.2.1

accessible
routes

*are
required
from*

arrival
points
like

STREETS

206.2.1

accessible
routes

*are
required
from*

arrival
points
like

206.2.1

SIDEWALKS



accessible
routes

*are
required
from*

arrival
points
like



BUS
STOPS

206.2.1

accessible
routes



*are
required
from*

arrival
points
like

LOADING ZONES



206.2.1



from

all the ways you arrive

to all
of the

accessible

entrances

**MAIN
ENTRANCE** 

3 types of entrances

106.5.59 Service Entrance

106.5.55 Restricted Entrance

106.5.49 Public Entrance

An entrance that is not a service entrance or a restricted entrance.

Per TAS 206.4.1, 60% of public entrances must comply.

An entrance that is made available for common use on a controlled basis but not public use and that is not a service entrance.

Per TAS 206.4.7, at least one restricted entrance must comply.

An entrance intended primarily for delivery of goods or services.

Per TAS 206.4.8, if a service entrance is the only entrance into a building, that entrance must comply

Fri-Sat 1PM-12AM

Hablamos Español

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BODY
PIERCING







accessible routes

connect

elements & spaces

206.2.2

on a site



accessible routes

206.2.4



connect

levels

Let's take this
levels thing
a step further.

Accessible Routes

in specific situations

206.2.3 multi-story buildings

206.2.5 restaurants

206.2.8 employee work areas

An aerial photograph of a city grid, showing a pattern of streets and buildings. The image is overlaid with a semi-transparent blue filter. The text is centered in the middle of the image.

At least one accessible route shall connect each story and mezzanine in multi-story buildings and facilities.

206.2.3 multi-story buildings



accessible route between stories?

accessible route



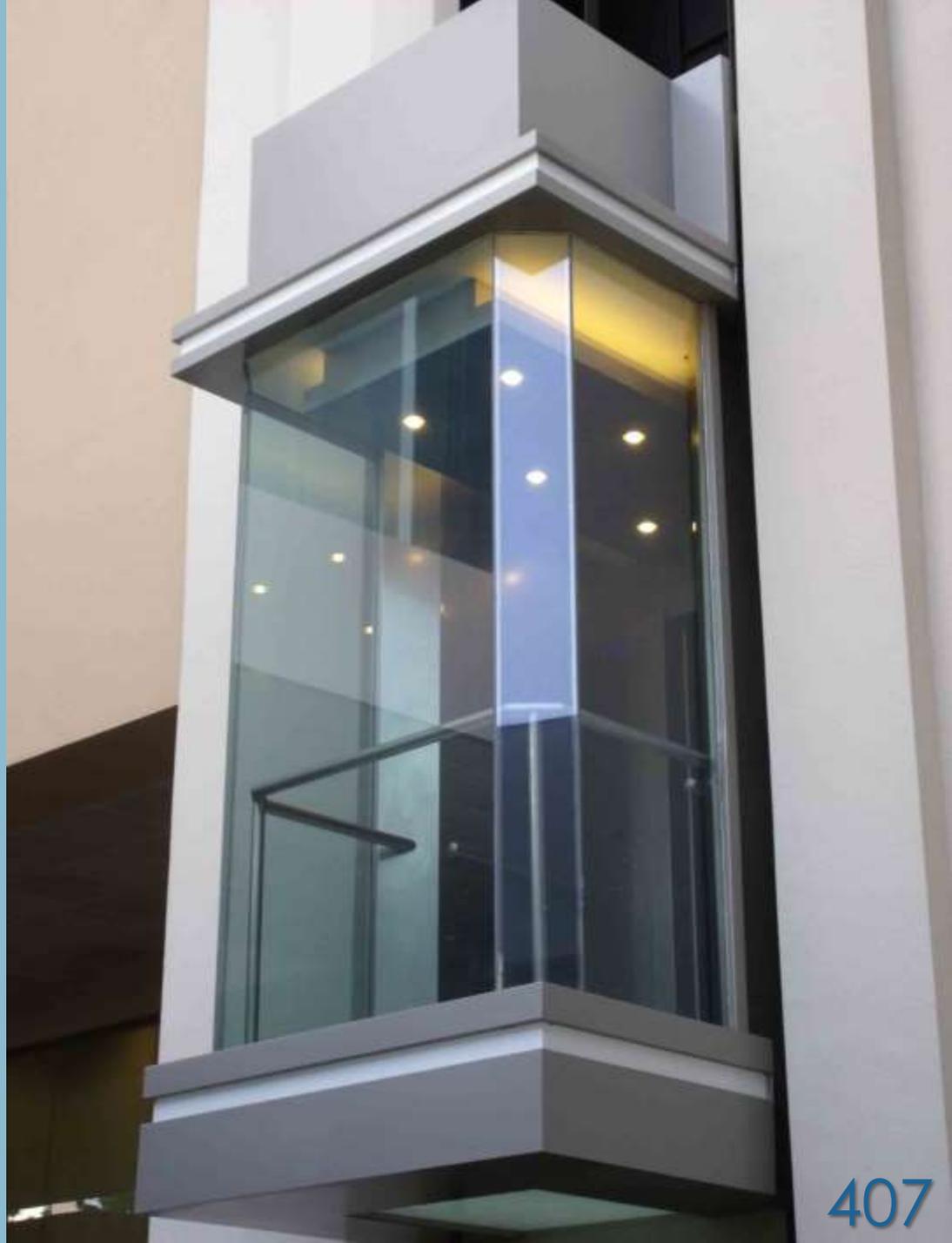
1:12 slope max
30" max rise per ramp run
60" landing between runs

120" (10') rise = 135 l.f. min (x width @ 5' =675 s.f.)

RAMP

accessible route

ELEVATOR



LULA

limited use/
limited
application
elevator

up to 25'



accessible route

PLATFORM LIFT

up to 14'



vertical access

NO



NO

NO



**PLATFORM
LIFTs
&
LULAs**

always allowed in
alt_erations



206.7 & 410

accessible route

allowed in new construction at performance areas & speaker platforms



PLATFORM LIFT & LULA

206.7.1

accessible route

allowed in new construction to access dispersion and line of sight requirements



accessible route

allowed in new construction to incidental spaces not used by public



allowed in new construction
in judicial spaces

We the People

*Of the United States,
in Order to form a more perfect Union,
establish Justice, insure domestic Tranquility,
provide for the common defence,
promote the general Welfare, and secure
the Blessings of Liberty to ourselves and
our Posterity, do ordain and establish this
Constitution for the United States of America.*

technically infeasible in new construction

accessible route



PLATFORM LIFT & LULA

206.7.5

accessible route

new construction w/in hotel guest rooms



PLATFORM LIFT & LULA

206.7.6

accessible route amusement rides in new construction

A large Ferris wheel with several passenger cars is shown against a clear blue sky. The wheel is white and has a complex lattice structure. The passenger cars are also white and have a hexagonal shape. The Ferris wheel is positioned on the right side of the image, with its base extending towards the bottom left. The background is a solid blue sky.

PLATFORM LIFT & LULA

206.7.7



accessible route
new construction @ play areas

PLATFORM LIFT & LULA

206.7.8

new construction @ team/player seating

accessible route



PLATFORM LIFT & LULA

206.7.9

new construction @ fishing/boating piers

accessible route

PLATFORM LIFT & LULA

206.7.10



A man in a dark suit and white shirt is walking on a wide, multi-level concrete staircase. The staircase has black handrails and is set against a light-colored concrete wall. The man is positioned on the upper level of the stairs, looking down.

exemptions

exemptions

206.2.3

accessible routes

Exception 1

An accessible route is not required to connect stories...

In private facilities

That are less than 3 stories or have less than 3000 sf per story

Provided that it is not a shopping mall, professional office of healthcare provider, or used by a specified transportation provider.

206.2.3 multi-story buildings



not funded by
public money

less than 3 stories

not a shopping mall, office
of healthcare provider, or
transportation provider

accessible route between floors not required

not funded by
public money

less than 3000 sf
per story

not a shopping mall, office
of healthcare provider, or
transportation provider

accessible route
between floors
not required

Newby-McMahon Building
701 La Salle
Wichita Falls
4 stories, 18'x10'



5 or more sales or rental establishments, or places of public accommodation (68.20)

TECHNICAL
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2012

03

SHOPPING CENTER

If a shopping center has more than one story, an accessible route is required to all stories or mezzanines.

206.2.3 Exception 1



accessible route between floors required

TECHNICAL
MEMO
2012

03

ONE STORY w/MEZZ

If a retail space has only one story, an accessible route is not required to the mezzanines.

206.2.4 Exception 3

aggregate floor area is not more than 1/3 of the area of the room in which the level is located



customer lift
with working equipment

£14.99

Mother's Day
Sunday 9th March
great gift
this for mum
£7.99

artificial & dried flowers

Exception 2

An accessible route is not required to connect to a story...

in a public facility

that has an occupant load of ≤ 5

does not contain public use space



206.2.3 MULTI-STORY FACILITIES

Exception 3

Detention centers & correctional facilities

Exception 4

Residential facilities

Exception 5

Multi-story rooms in transient lodging

Exception 6

Air traffic control towers

Exception 7

Qualified Historic Facilities

206.2.3 MULTI-STORY FACILITIES

Accessible Routes

in specific situations

206.2.3 multi-story buildings

206.2.5 restaurants

206.2.8 employee work areas

restaurants

An accessible route must be provided to all dining areas, including raised or sunken dining areas, and outdoor dining areas.

206.2.5







ACCESSIBLE ROUTE Exception 1

in a multi-story building that is
exempt from providing an
accessible route
between stories

dining on a mezzanine
(not a story)

provides the same dining
experience (views,
entertainment, themes)



206.2.5 RESTAURANTS

Accessible Routes

in specific situations

206.2.3 multi-story buildings

206.2.5 restaurants

206.2.8 employee work areas

employee work area



all or any portion
of a space:

- used only by employees
- used only for work

employee work area

Approach, Enter, & Exit (203.9)

ability to “enter and back out of space”

Accessible Common Use Circulation Path
within Employee Work Area (106.5.21)

- shared use by 2 or more people
- not for public use

Egress (207.1)

Fire Alarms (203.8)



employee work areas



- approach, enter & exit
- common use circulation path



- egress
- fire alarms

207.1
203.8

Accessible Routes

in specific situations

206.2.3 multi-story buildings

206.2.5 restaurants

206.2.8 employee work areas

TECHNICAL
MEMO
2014

24

ACCESSIBLE ROUTES
must be **in the same
area** as general
circulation paths
(including stairs and
escalators).

206.3

“in the
same area”

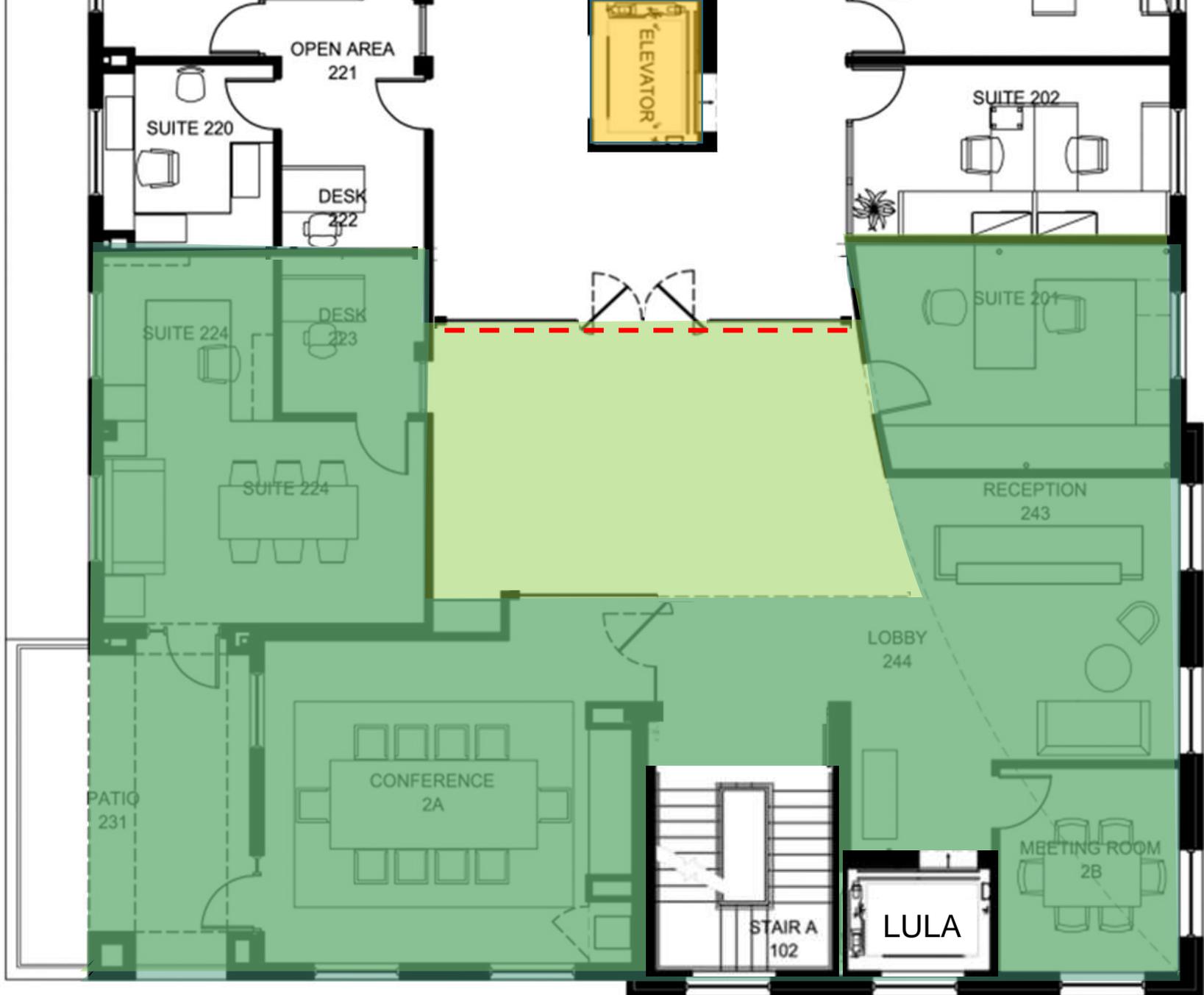


TECHNICAL
MEMO
2014

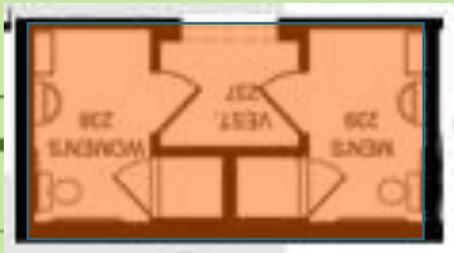
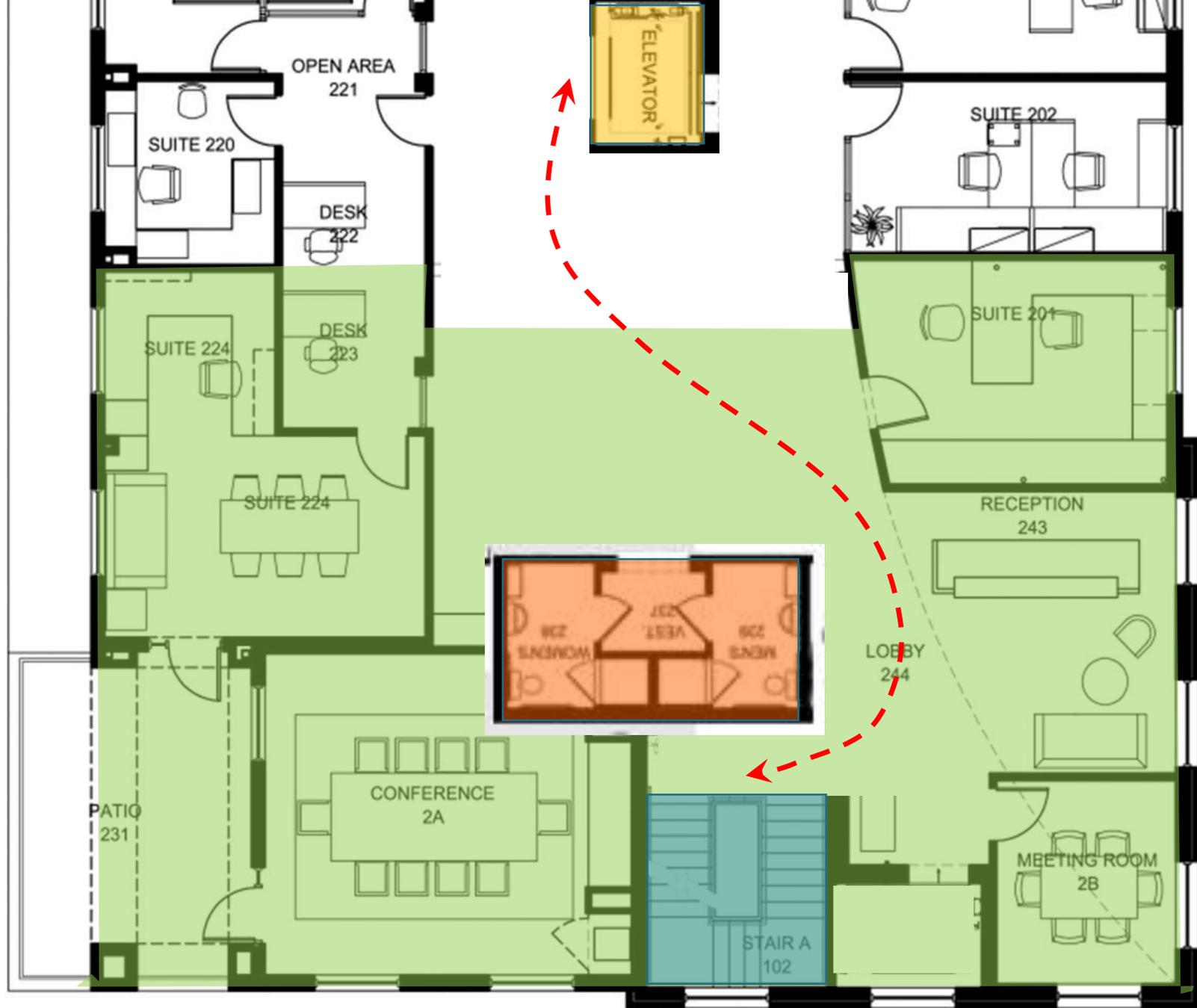
24

ACCESSIBLE ROUTE
between floors must be *within the tenant space* if there are stairs between floors within the tenant space.

206.3







TECHNICAL
MEMO
2014

24

ACCESSIBLE ROUTES
must be in the same
area as general
circulation paths
(including stairs and
escalators).

206.3

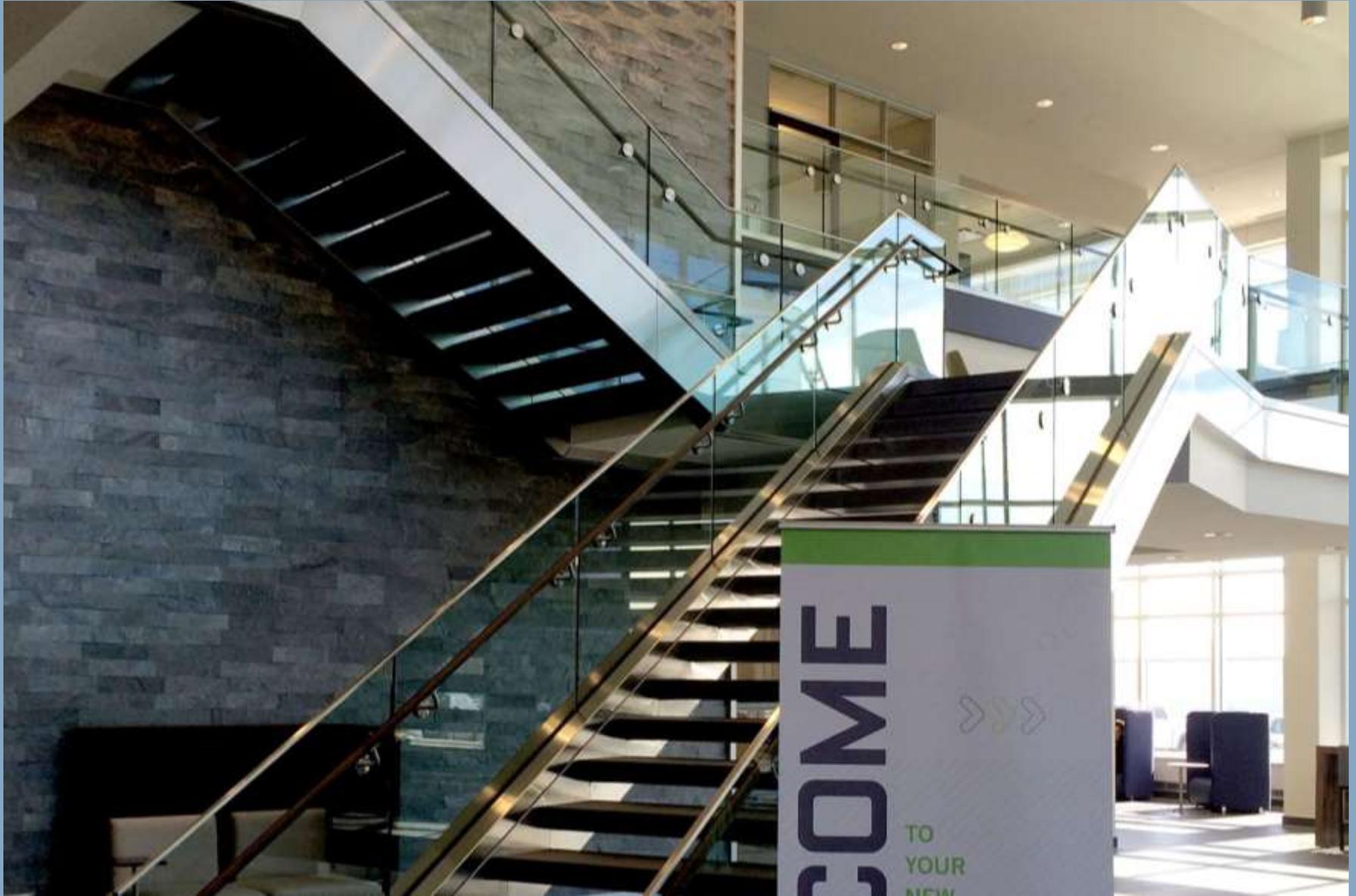
CIRCULATION PATH

An exterior or interior way of passage provided for pedestrian travel including, but not limited to...

- walks
- hallways
- courtyards
- elevators
- platform lifts
- ramps
- stairways
- landings

which brings us to...

kinds of STAIRS



EGRESS ONLY

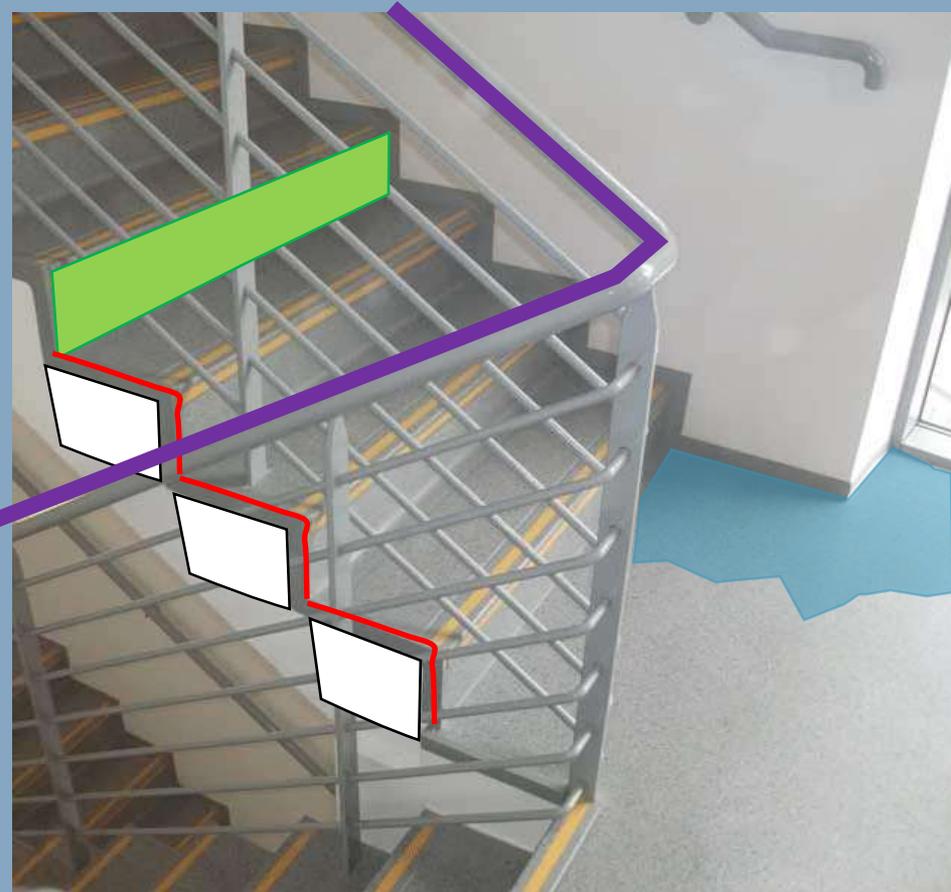
Interior and exterior stairs that are part of a means of egress.

Must comply with 504.



504 EGRESS STAIRS

- uniform height & depth of treads
- compliant nosings
- no open risers
- compliant handrails
- no water accumulation



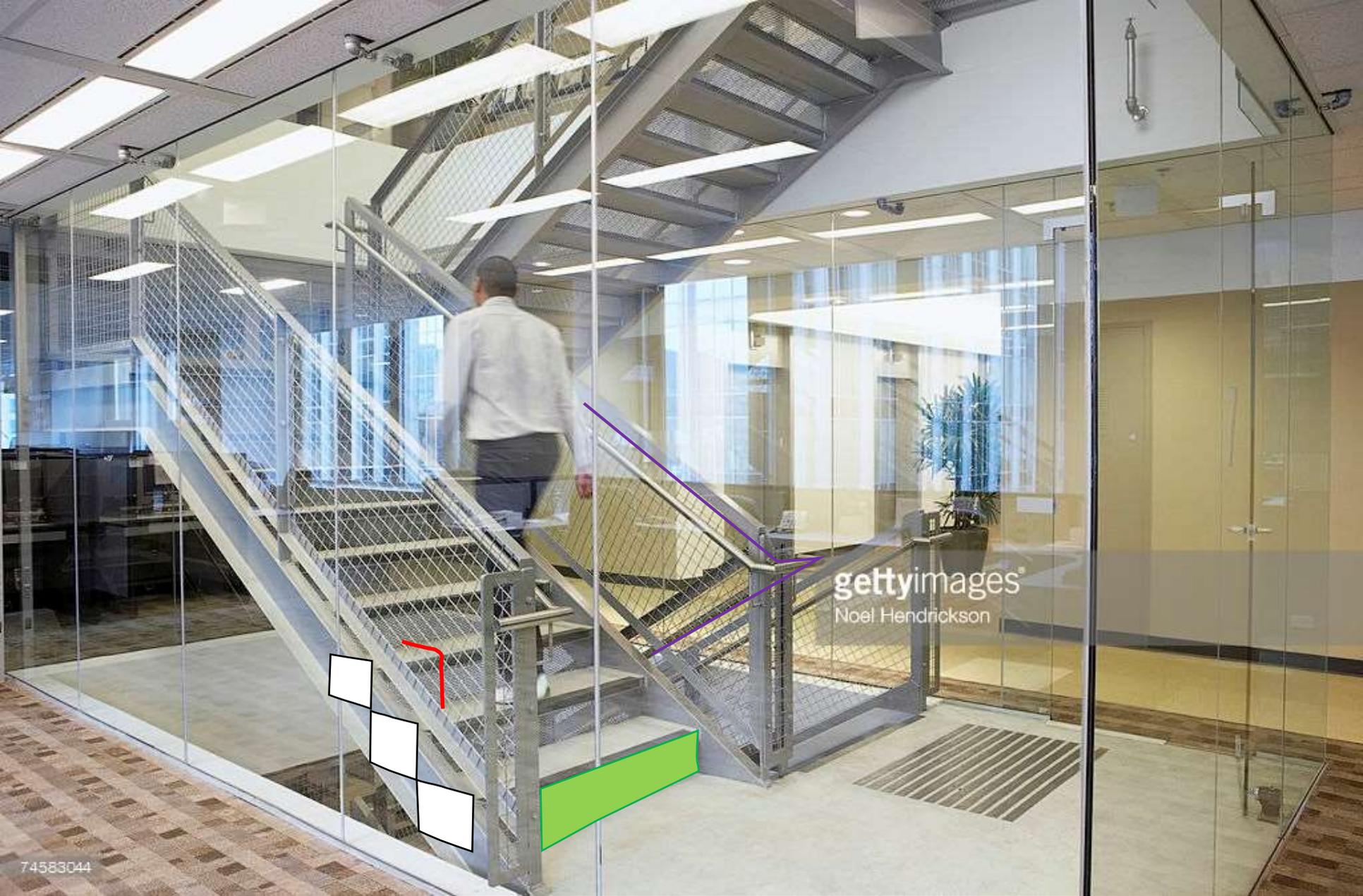


MONUMENTAL STAIRS

Part of the circulation route.

Not part of a means of egress.

An accessible route is required in the same area.



EGRESS + MONUMENTAL STAIRS

74583044



SOCIAL STAIRS

Accessible routes must be located in the same area as general circulation paths (206.3).



SOCIAL STAIRS used as ASSEMBLY AREA

Accessible route required nearby (206.3)

Wheel chair spaces at entry points (221.2.3.2 Ex 2)



In assembly areas, aisle stairs are not required to comply with 504

210.1 Exception 3



PLAY EQUIPMENT STAIRS

Stairs that connect play components are not required to comply with 504.

210.1 Exception 4



STAIRS IN TENANT SPACE

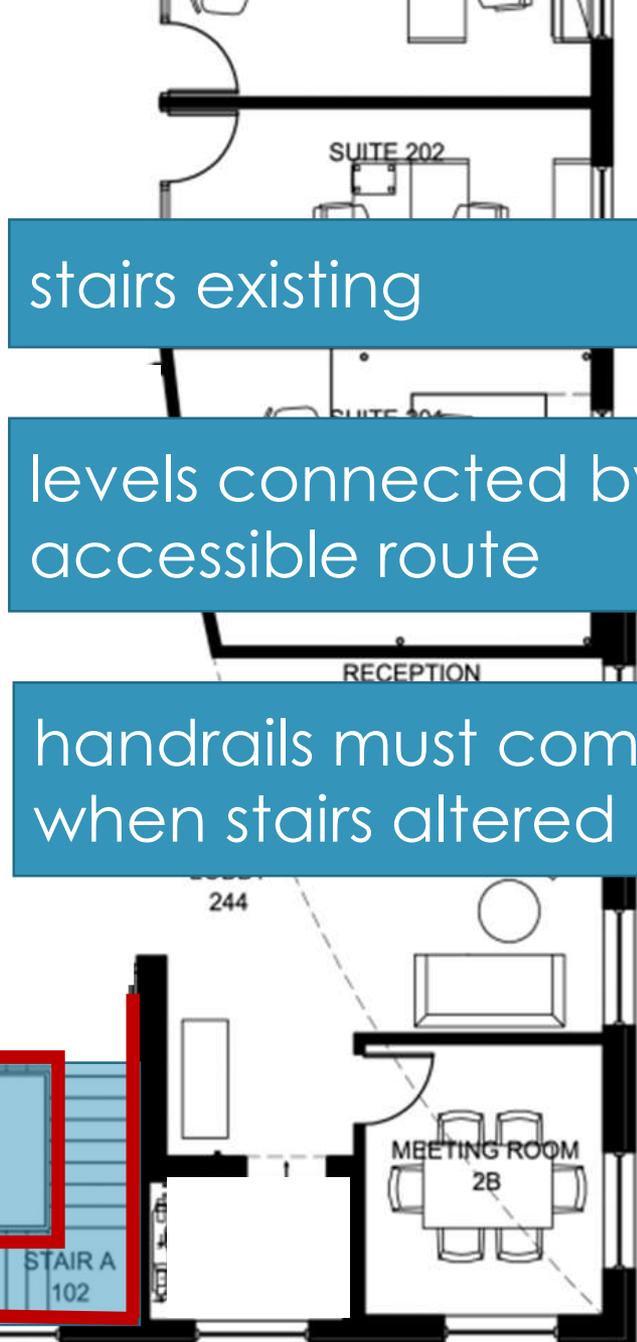
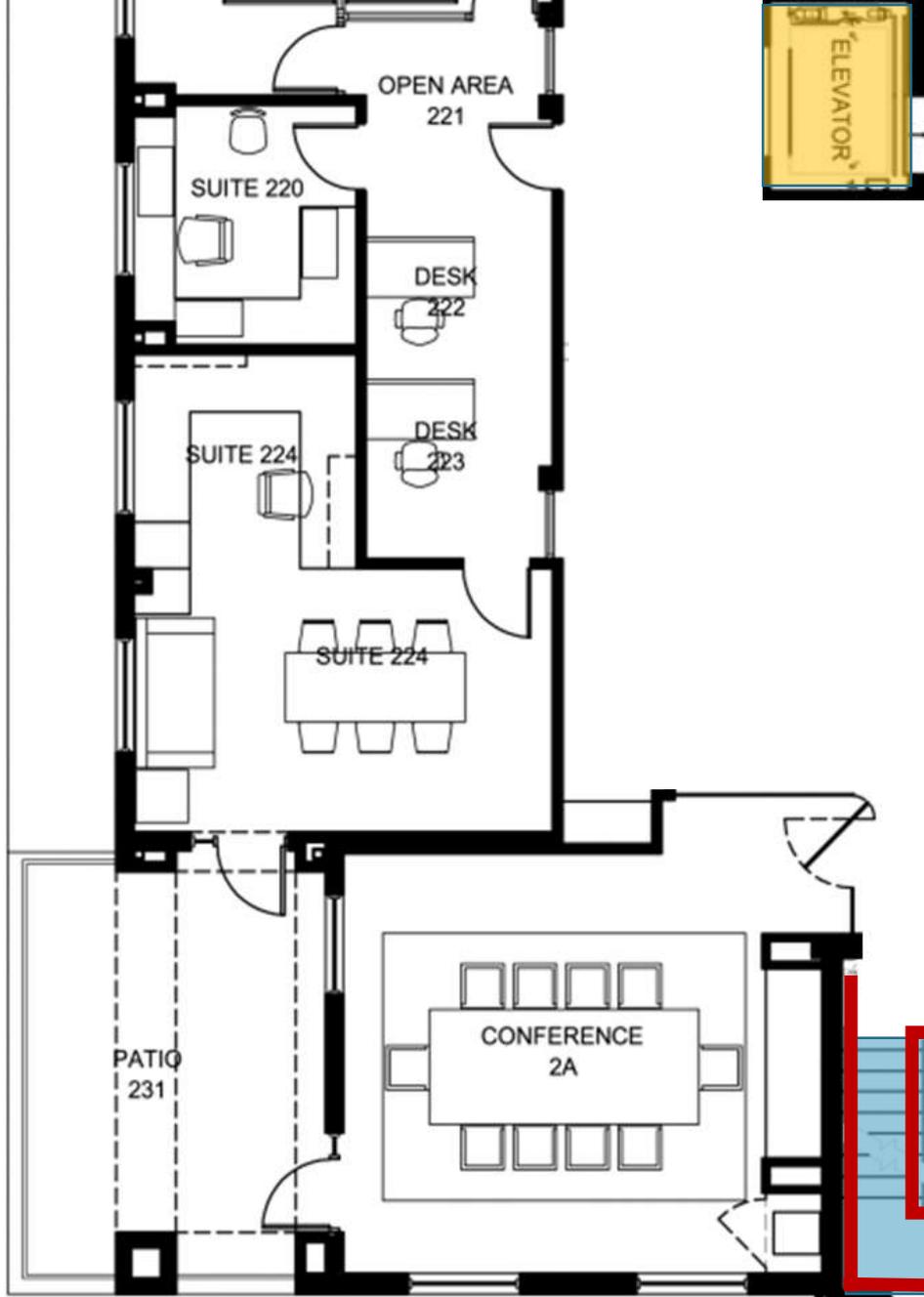
Accessible route must be located in the same area of the tenant space (206.3).



STAIRS **exception**

In **alterations**, stairs between levels that are connected by an accessible route are not required to comply with 504, except that handrails complying with 505 shall be provided when the stairs are altered.

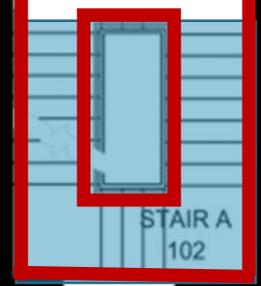
210.1 Exception 2



stairs existing

levels connected by accessible route

handrails must comply when stairs altered



Primary Function

section



Min



Primary Function

“A major activity for which the facility is intended”

$f(x)$

- Why is the space there?
- Do you go to there to use it?

Alterations
affecting
areas of

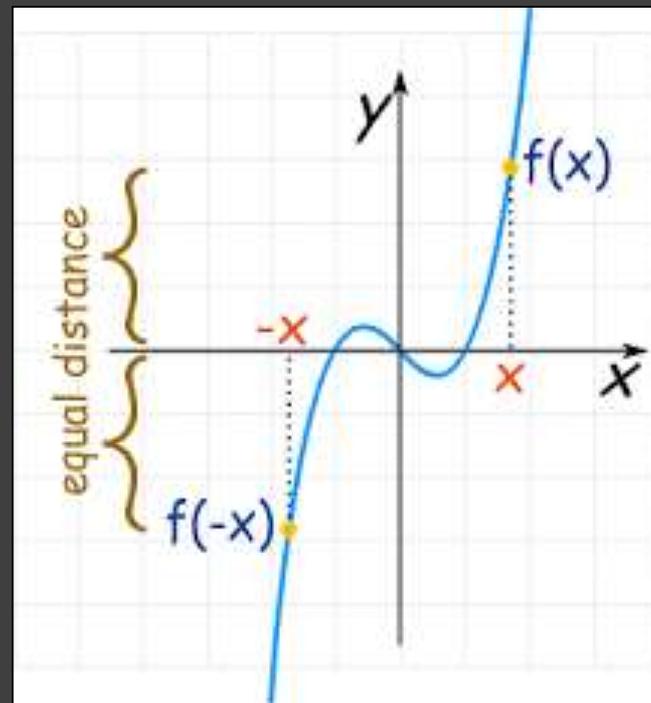
Primary Function

must have
compliant

Path of Travel

elements.

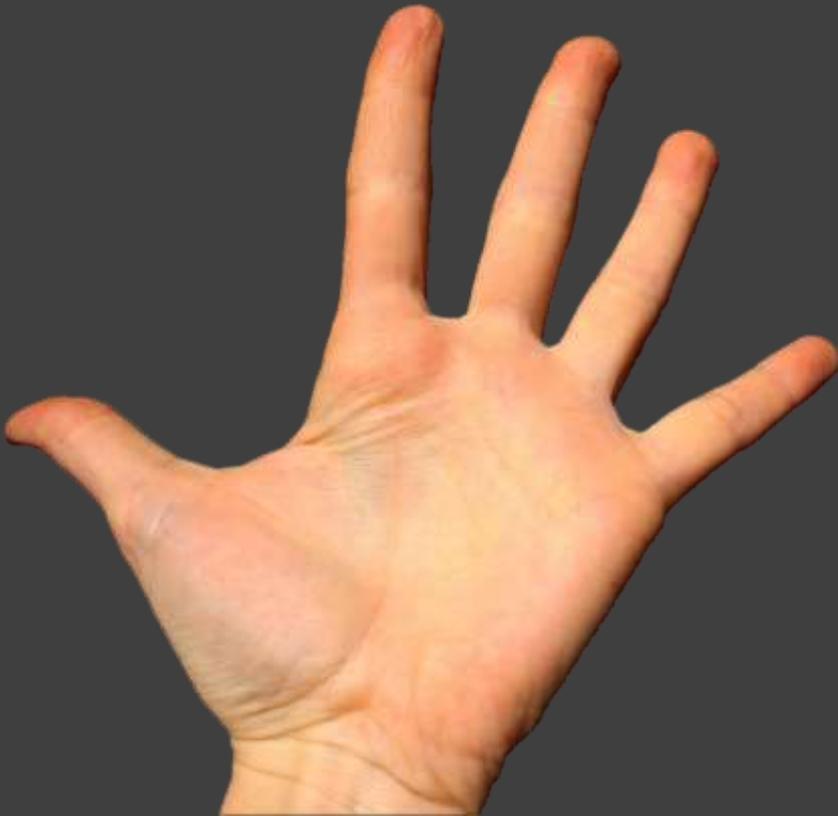
$$f(x) = \begin{cases} x & \text{if } x \geq 0 \\ -x & \text{if } x < 0 \end{cases}$$





Path of Travel Elements

aka
“THE BIG FIVE”



accessible routes



- create connections
- continuous
- in same area

parking



- dispersed
- space + access aisle
- accessible route

restrooms



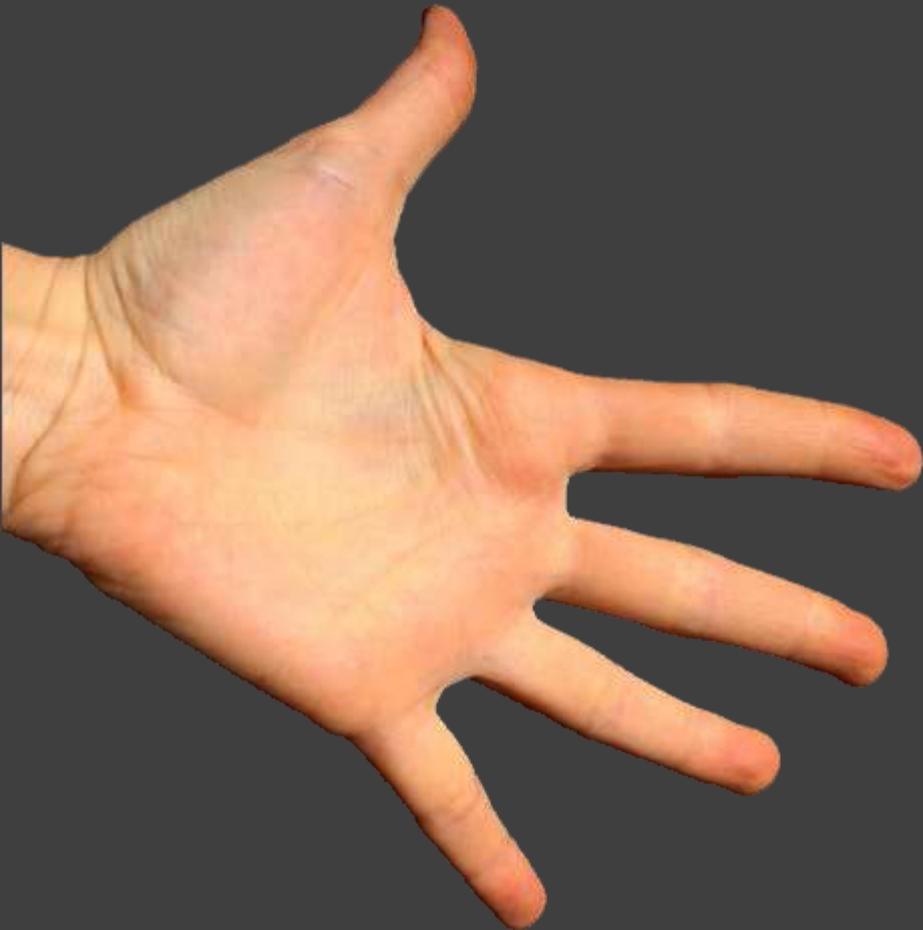
- clearances
- overlaps
- protruding objects

telephones



- clear floor space
- operable parts
- volume

drinking fountains



- at least two
- clear floor space
- protruding objects

That's basically it.



Well, just
one or two
more
things...



safe harbor



- alteration of primary fx
- path of travel 94 compliant
- not altered, 12 not req'd

Tenant Funding

- tenant/owner \$
- $P(f_x)$, path of travel
- ultimate responsibility



That is all.



CLARIFICATIONS

section





Project Registration

2nd most FAQ

1. Do I have to register it?

TDLR: What type of facility is it
and who will be using it?

Admin Rule 68.20

Publicly Funded Facilities

State Leased Facilities

Public Accommodations

Commercial Facilities

Religious Organizations

1. Do I have to register it?
2. So I have to register it?

TDLR: Is the **Estimated Cost of Construction** \$50,000 or more?

Estimated Cost of Construction

Rule 68.10(13)

All costs for construction of a project except:

- site acquisition
- architectural, engineering & consulting fees
- furniture & equipment (unless it is part of the m/e/p systems)

1. Do I have to register it?
2. So I have to register it?
3. So do I have to register it?

TDLR: *yes*



uhmm... idk



OMG! REGISTER IT!



How?



You asked for it,
so here we go...!

[TDLR.Texas.gov](https://www.tdlr.texas.gov) (homepage)



- LICENSE TYPES
REGULATED BY TDLR
- APPLY/RENEW
LICENSES, CHANGE INFO, ETC.
- DRIVER EDUCATION
PARENT TAUGHT, FORMS, ETC.
- SEARCH DATA
LICENSES, VIOLATIONS, ETC.
- CONTINUING EDUCATION
FOR PROGRAMS AND PROVIDERS
- REGISTERED PROGRAMS
- E-MAIL UPDATES
- FILE A COMPLAINT
- MEETINGS, COMMISSION, RULES AND STATUTE
- EMPLOYMENT



Elimination of Architectural Barriers

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- Registered Accessibility Specialists +
- Forms, FAQs, Rules, Law, Memos and Info +
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Architectural Barriers



2012 Texas Accessibility Standards +



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Updates

ments with email notifications. Get info on changes to laws and rules, ngs, and more.



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Forms, FAQs, Rules, Law, Memos and Info +

Meetings and Information +

and Updates

ile Round-Up – FINAL

YOU SHOULD KNOW

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ers

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tdlr Texas Department of Licensing and Regulation P.O. Box 12157 Austin, Texas 78711 800-803-9202 / TDD: 800-735-2989

Architectural Barriers Project Registration Online

This is only the REGISTRATION of the construction project. The building/facility owner is responsible for ensuring that the Project Registration Confirmation Page, construction documents, and applicable fees are mailed, shipped, or hand delivered to a Registered Accessibility Specialist (RAS) for the required review and inspection of the project.

An "EAB" Project Registration Number will be issued following the completion of the AB Online Project Registration Form and payment of the following applicable **NON-REFUNDABLE** TDLR Project Filing Fee by credit card (Visa, MasterCard, Discover, or American Express).

\$175 - project registered PRIOR to [Completion of Construction](#)
\$300 - project registered AFTER [Completion of Construction](#)

If you are unable to pay the TDLR Project Filing Fee online by credit card, the project may be registered by mailing, shipping, or hand-delivering a completed [Architectural Barriers Project Registration Form](#) and a check or money order for the applicable TDLR project filing fee to TDLR. An "EAB" Project Registration Number will be issued following receipt of the form and payment.

Projects with an estimated construction cost of less than \$50,000 may not be registered online; however, an "EAB" Project Registration number may be obtained by mailing, shipping, or hand-delivering a completed [Special Registration Form](#) and a check or money order for the applicable TDLR project filing fee to TDLR. An "EAB" Project Registration Number will be issued following receipt of the form and payment.

If you experience problems registering a project while using this system, contact Customer Service at 512-463-6599 or Toll free (in Texas) at 800-803-9202 or by email: customer.service@tdlr.texas.gov. If you have suggestions for improving this system, please click the "Feedback" link at the bottom of any screen.

CONTINUE

[TDLR Home Page](#) | [AB Home Page](#) | [AB Data Search](#)



Architectural Barriers Project Registration Online

This is only the REGISTRATION of the construction project. The building/facility owner is responsible for ensuring that the Project Registration Confirmation Page, construction documents, and applicable fees are mailed, shipped, or hand delivered to a **Registered Accessibility Specialist (RAS)** for the required review and inspection of the project.

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CONTINUE



NON-REFUNDABLE registration fee



Architectural Barriers Project Registration Online

If you are a returning user, you may log in by entering your Email Address and Password below, then click LOGIN.

If you are a new user, please register [HERE](#).

Log In

E-Mail:

Password:

LOGIN

[Forget Your Password?](#)

[TDLR Home Page](#) | [AB Home Page](#) | [AB Data Search](#)





Architectural Barriers Project Registration Online

Please enter (in whole dollars) the estimated construction cost in the field and do not include \$ character.

Estimated Construction Cost: \$ (ex. 500000.00)

ONLINE REGISTRATION

[TDLR Home Page](#) | [AB Home Page](#) | [AB Data Search](#) | [Feedback](#)



Architectural Barriers Project Registration Online

Choose one of the options below and click "CONTINUE TO REGISTRATION"

A RAS will be performing the required plan review Enter 8 digit RAS number

To search for a RAS, click [Search](#)

Please contact the RAS you will be using and make them aware that they have been selected to perform the required plan review. Also, please ensure that the RAS receives the appropriate construction drawings necessary to perform the review. If TDLR has not received confirmation that the plan review was performed within 30 days of this registration, the owner will not be in compliance with state law

Error: The RAS number was not found in our database or is inactive. You cannot register this project online.

Note: In accordance with Rule 68.52, the owner of a building or facility must also obtain an inspection from a registered accessibility specialist not later than the first anniversary of the completion of construction. Request for inspection shall be made by completing the [Request for Inspection form](#) and submitting it no later than 30 calendar days after the completion of construction.

CONTINUE TO REGISTRATION

[TDLR Home Page](#) | [AB Home Page](#) | [AB Data Search](#) | [Feedback](#)



independent
contractor

plan review
inspection

variance
consultations



Registered Accessibility Specialist



Architect

*Address
Address
* RAS N
*Project
*Building or F
*Address
Address
*County
Tenant Contact
BUILD
*Address

Address Line 1	
City	State Zip
Phone	(10 digit number, ex 512999999)
Designer Name	
Email	
*Type of License	<input type="radio"/> Architect <input type="radio"/> Engineer <input type="radio"/> Interior Designer <input type="radio"/> Landscape Architect <input checked="" type="radio"/> Other (Includes not licensed)
License Number	
PROJECT DESCRIPTION	
*Scheduled Construction Start Date (mm/yyyy)	Month: 03 (mm) Year: 18 (yyyy)
*Scheduled Construction Completion Date (mm/yyyy)	Month: 3 (mm) Year: 19 (yyyy)
*Estimated Project Construction Cost	100000 (ex. 55000.00)
*Type of Work	<input type="radio"/> New Construction <input checked="" type="radio"/> Renovation/Alteration <input type="radio"/> Additions to Existing Building <input type="radio"/> Historic Preservation
*Scope of Work	convert gym into Really Big Project building
*Type of Funds	<input type="radio"/> This project involves public funds, public land, or is a state lease. <input checked="" type="radio"/> This project is privately funded, on private land for private use.
*Are the private funds provided by a tenant?	<input type="radio"/> Yes <input checked="" type="radio"/> No
State Lease No. (if applicable)	
*Does this building(s) have more than one level?	<input type="radio"/> Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/> Not a building
*Does this building(s) have any elevators, escalators, or platform lifts?	<input type="radio"/> Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/> Not a building
*Does this building(s) have any boilers?	<input type="radio"/> Yes <input checked="" type="radio"/> No <input type="radio"/> Unknown <input type="radio"/> Not a building
SUBMIT FORM	

Architectural Barriers Project Registration Online

READY TO PAY

To proceed, please have any applicable payment information (e.g., card number, expiration date) close at hand, then click the "Pay Now" button below to go to the page for secure Electronic Payments.

You have 20 minutes to enter your payment information.

Please print this page or write down this help line number: 1-877-452-9060. You may also get help via email by sending a message to support@texasgovhelpdesk.com.

HOW TO KNOW IF YOUR FILING FEE HAS BEEN PAID ONLINE:

After successfully paying online, you will see a response page that says "Transaction Successful". This is your assurance that payment is complete and you will get a confirmation page from a link. **If you do not see "Transaction Successful" on that page, your payment was not processed and you have to re-login and pay your filing fee.**

If you do not see a transaction number at the end of the payment process, call the above help line number. The country of domicile for this transaction is the U.S.A.

THE TOTAL AMOUNT TO BE PAID IS: \$175.00

PAY NOW

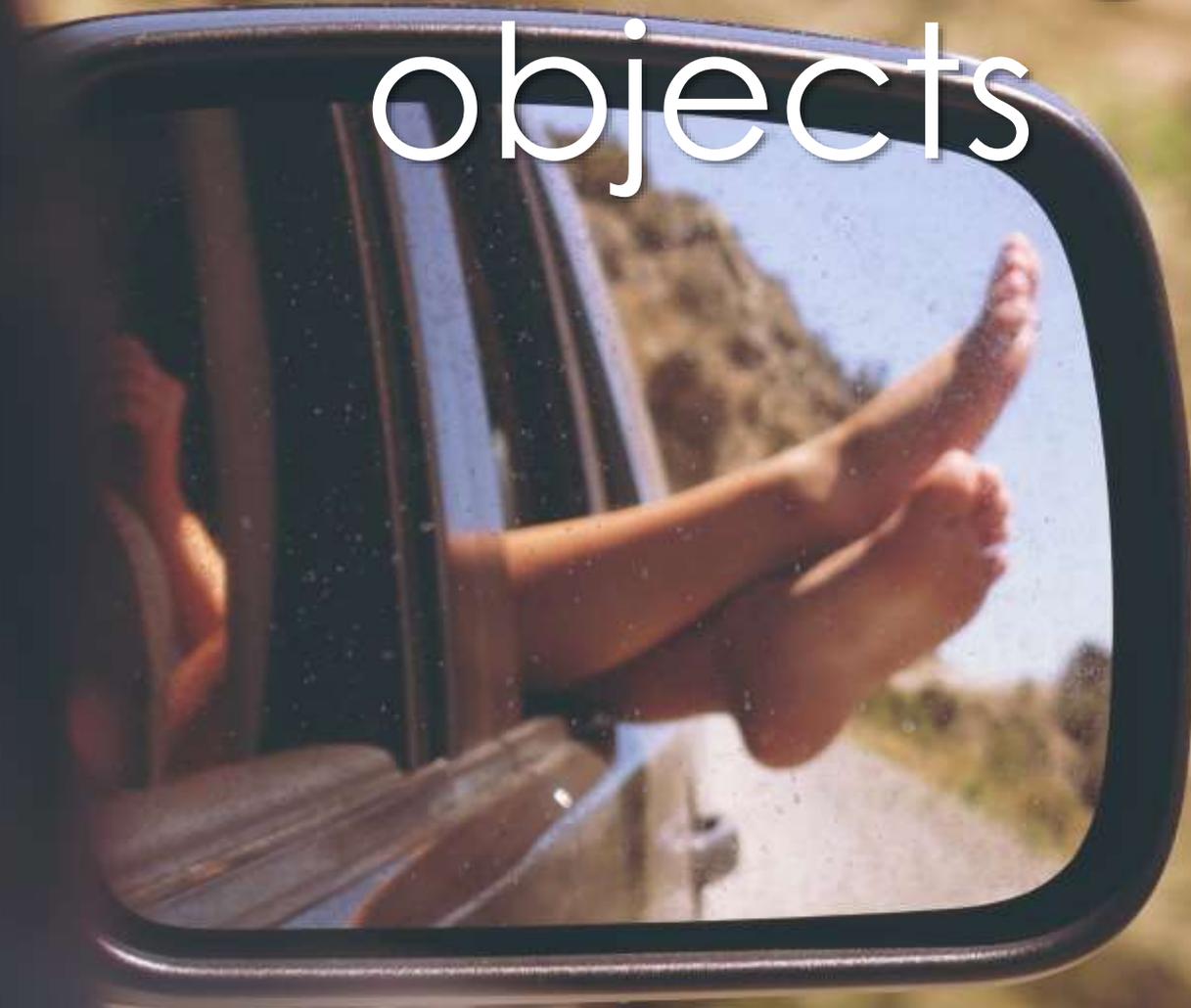


EAB#, TDLR#, project#

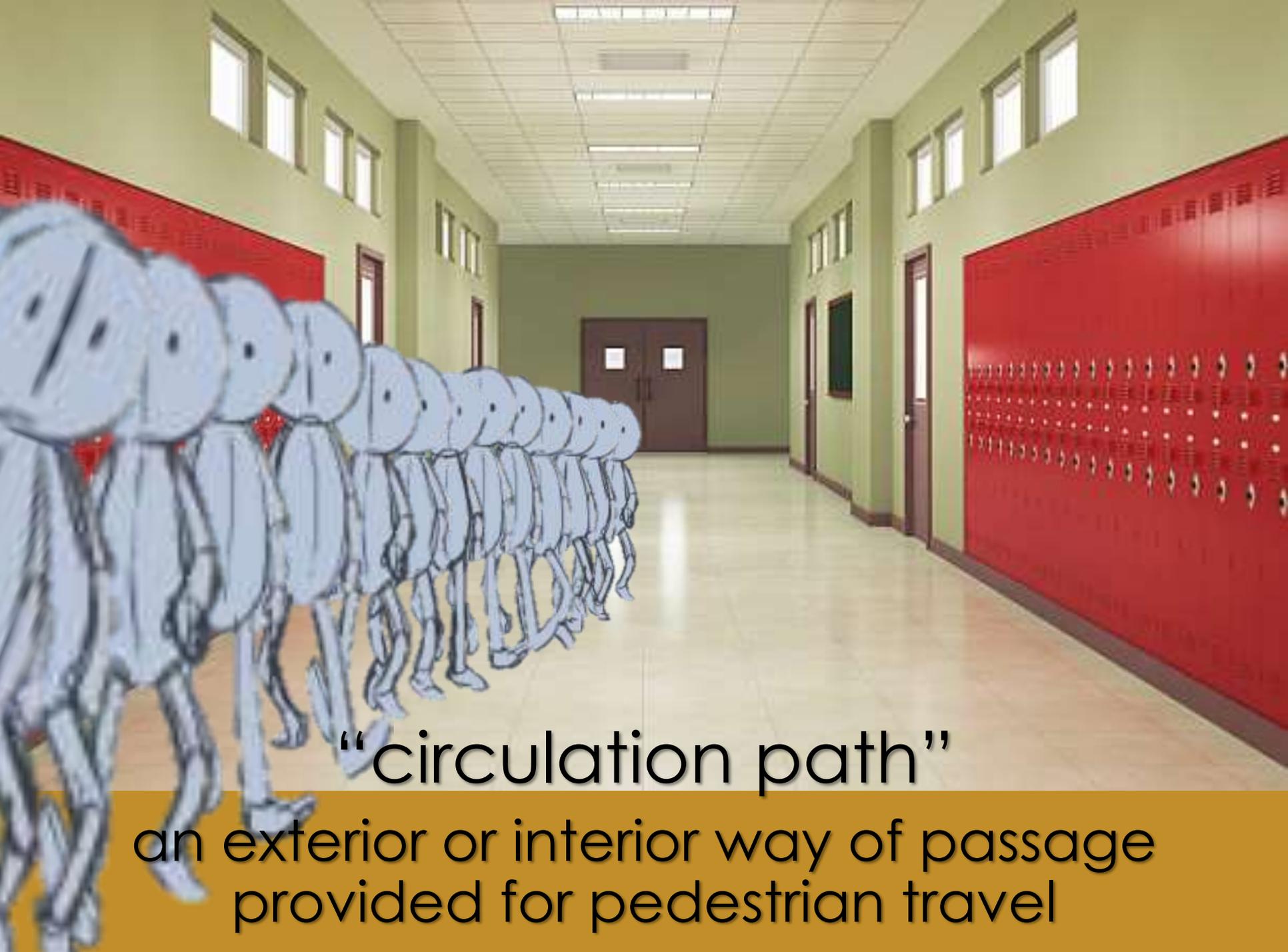


next...

protruding
objects



204.1 General. Objects may not protrude into circulation paths.



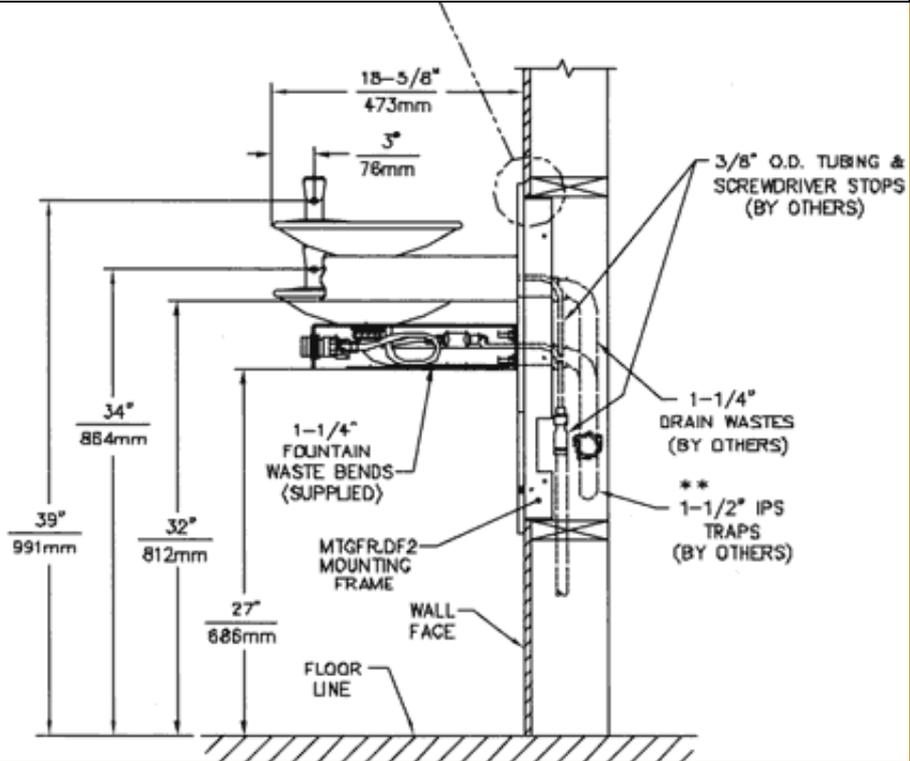
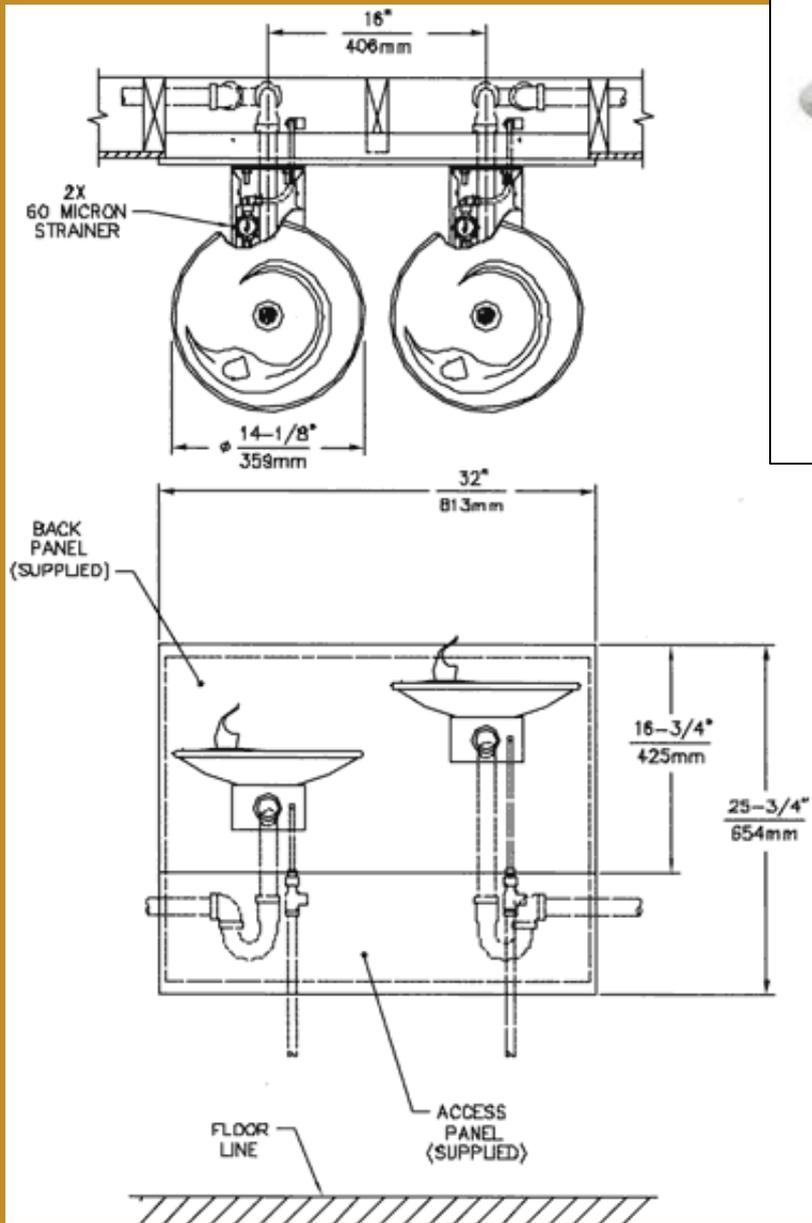
“circulation path”

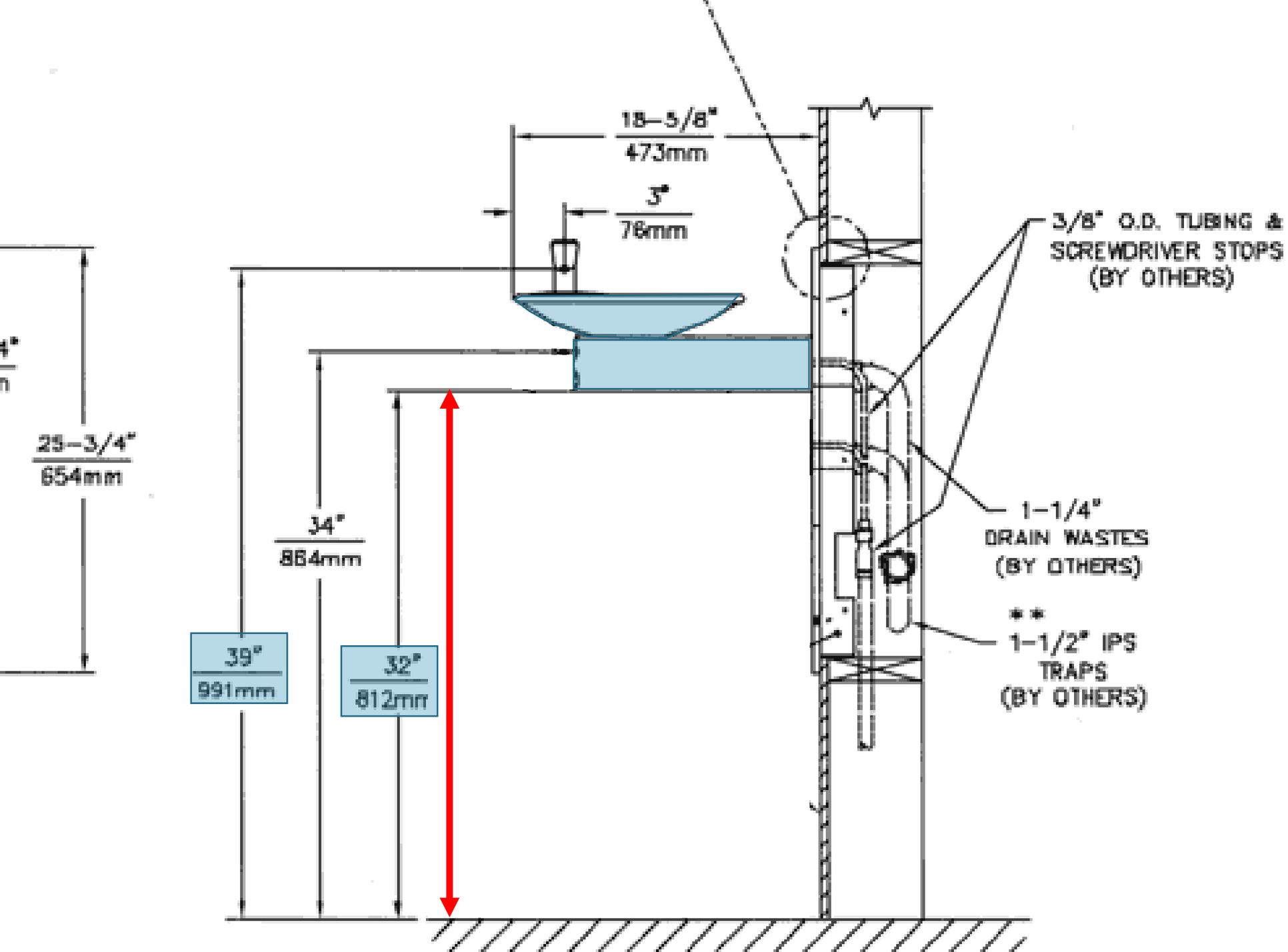
an exterior or interior way of passage
provided for pedestrian travel

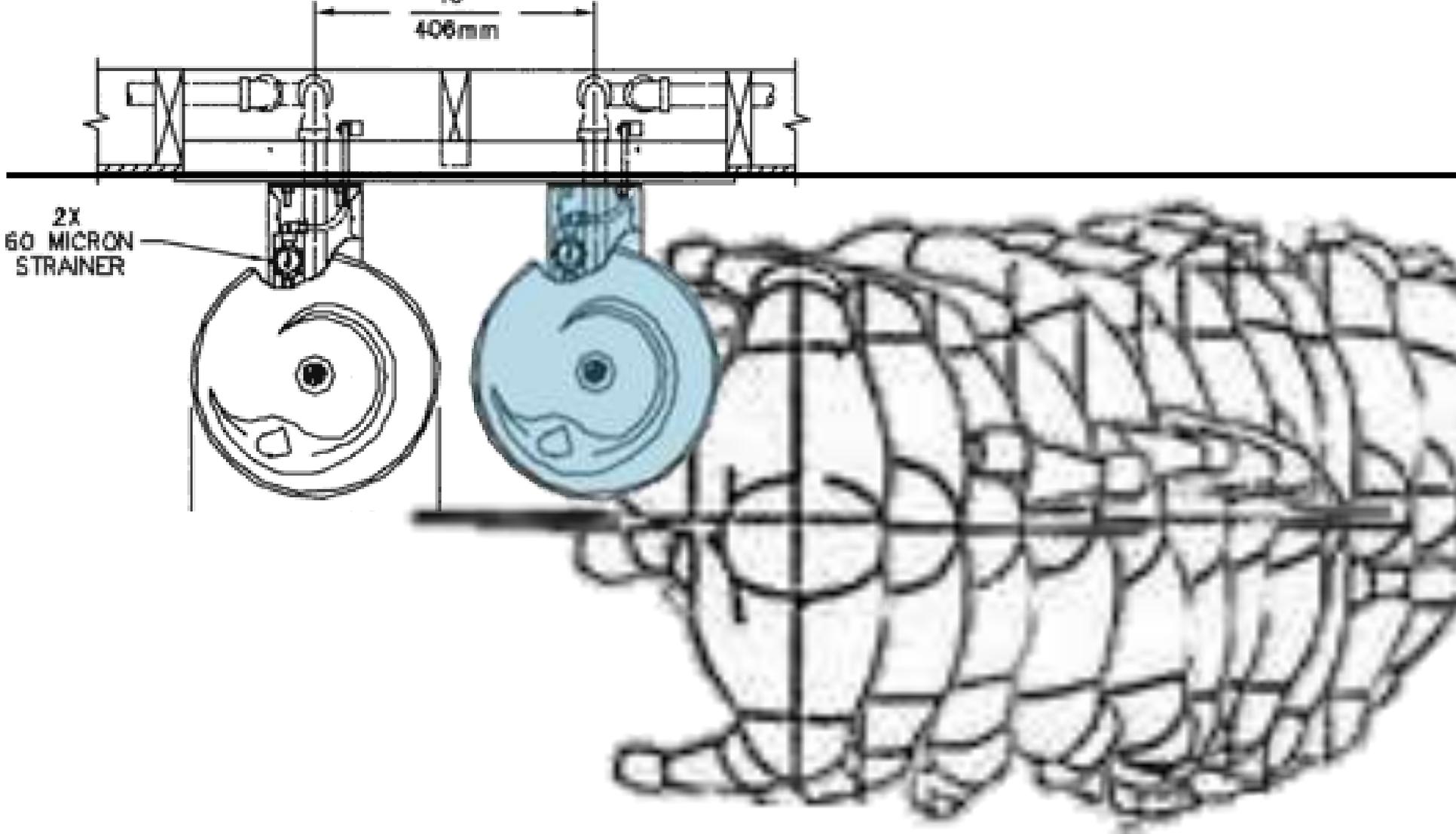
protruding object

object with
leading edges
27" to 80" a.f.f.
that protrudes
into the
circulation path
more than 4"













protruding object



protruding object





protruding object?



next...

board & care facilities





board and care facility



All

Maps

Images

News

Shopping

More

Settings

Tools

About 251,000,000 results (0.80 seconds)

[Austin Board and Care - Compare Over 1,200 Facilities](#)



board and care facility

How Much Money Do I Need To Start and Assisted Living Facility?

www.seniorcaremike.com/how-much-money-to-start-assisted/ ▼

Feb 6, 2015 - And third, with expenses running at \$90,000 per month, Jane sets aside \$180,000 for working capital to **make** sure she isn't stressed financially. I am interested in this business because of my 93-year-old Aunt and what our experience has been with her with these **facilities** both **board and care** and small ...

How To Make Money With A Non-Medical Home Care Business ...

[https://seniorservicebusiness.com/how-to-make-money-with-a-non-medical-home-car...](https://seniorservicebusiness.com/how-to-make-money-with-a-non-medical-home-care...) ▼

Sep 14, 2015 - Many caregivers who start their own private duty home **care** business are already working with seniors, but want to **make** more **money**. For example, Tricia Moore was working at an assisted living **facility**, and was frequently asked by her patients and their families if she was available to visit them regularly ...

How to Get Grant Money for an Elderly Care Business | Chron.com

[smallbusiness.chron.com > Money & Debt > Money for Businesses](http://smallbusiness.chron.com/Money%20&%20Debt/Money%20for%20Businesses) ▼

Care for the elderly is no longer confined to nursing homes and assisted living **facilities**. Figuring out how to get grant **money** to help start a company that cares for the elderly can help fund a potentially lucrative business that also helps people. Aging baby boomers don't necessarily want to lose their independence by ...

9 Answers - How profitable is owning an assisted living facility ...

<https://www.quora.com/How-profitable-is-owning-an-assisted-living-facility> ▼

Jan 28, 2016 - People with means will always be happy to spend **money** if they know that it will keep out the lower classes. ... and assisted living business models, they can participate as passive investors, buying shares in the many real estate investment trusts that specialize in multimillion-dollar

How profitable is owning an assisted living facility?

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Kindle Oasis.

Experience our largest, highest resolution display without glare - even in bright sunlight.

Shop now at amazon.com 

9 Answers



Randall Reade, VP, Washington DC ArchAngels -- Monthly meetings since 2011.

Answered Jan 29, 2016

I really don't know the particulars, but obviously it can be highly profitable, and a good business as well.

Often, the residents have their monthly fee paid for by the government, either as veteran's benefits, or Medicare or something else. Or they are paid for by an insurance company that the person has. Either way, that is steady regular income for a facility. Who doesn't want that? It makes it easy to budget.

Then you have an ever-growing number of elderly people who need this. The market is really wide open, no matter how much competition you have.

The competition, as always, is at the high end, those facilities that offer upgraded services and facilities, and are nicely decorated and located in good places. People with means will always be happy to spend money if they know that it will keep out the lower classes.

The things to worry about is that personnel can eat up costs very quickly. So

out the lower classes. ... and assisted living business models, they can participate as passive investors, buying shares in the many real estate investment trusts that specialize in multimillion-dollar



board a

How Much Money

www.seniorcaremike.com

Feb 6, 2015 - And this is working capital to maintain because of my 93-year-old board and care and

How To Make Money

<https://seniorservice.com>

Sep 14, 2015 - Many are working with senior assisted living facilities available to visit the

How to Get Grants

smallbusiness.chron.com

Care for the elderly how to get grants for lucrative business independence by

9 Answers

<https://www.quora.com>

Jan 28, 2016 - People with means will always be happy to spend money if they know that it will keep out the lower classes. ... and assisted living business models, they can participate as passive investors, buying shares in the many real estate investment trusts that specialize in multimillion-dollar

How profitable is owning an assisted living facility?

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[Shop now at amazon.com](#)

9 Answers

Randall Reade, VP, Washington DC ArchAngels... Monthly meetings since 2011



Mark Oster, Businessman, Blogger

Answered Aug 3 2017

what is assisted living?

An assisted living home is a residence designed for older adults who are still mobile but need help with one or more necessary activities (bathing, eating, and so on). Roughly speaking, an assisted living home is the midpoint between an independent living community (where healthy, youngish seniors live) and a nursing home (which exists for the frailest of seniors who require 24/7 care). The typical assisted living resident is a woman, about 85, who stays for two years.

Unlike nursing homes, assisted living homes operate largely free of federal regulation. Compliance and paperwork are state-specific; generally speaking, permits are easy to get.

Jan 20, 2018
out the lower classes. ... and assisted living based...
investors, buying shares in the many real estate investment trusts that specialize...



If licensed,
“board and care”
facilities are
**ASSISTED
LIVING/LONG TERM
CARE FACILITIES**
just like a
nursing home

Department of Aging and Disability Services (DADS)



HHS agency charged with licensing
and regulating B&C facilities

residential home to long term care facility



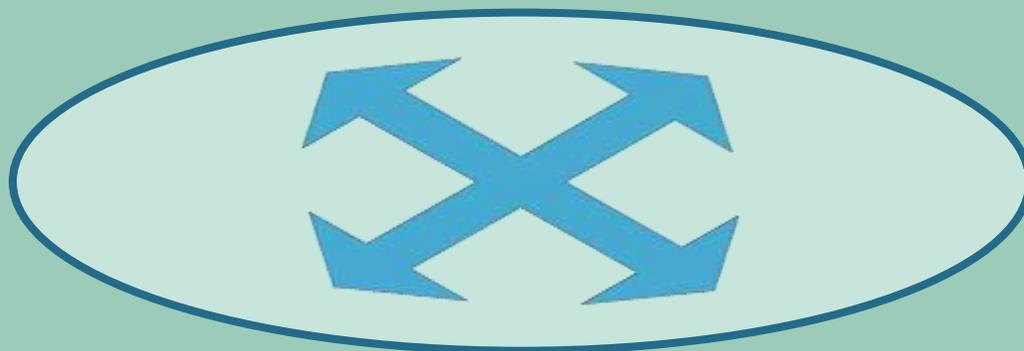


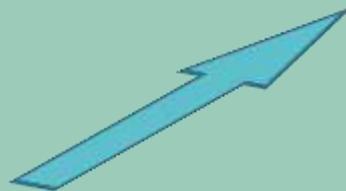
At least 50%, but no fewer than one, of each type of resident sleeping room must provide mobility features complying with 805.

TAS 223.3 Long-Term Care Facilities



Turning space required within room (805.2)





Clear floor space (305) designed for parallel approach on each side of bed (805.3)

accessible
storage



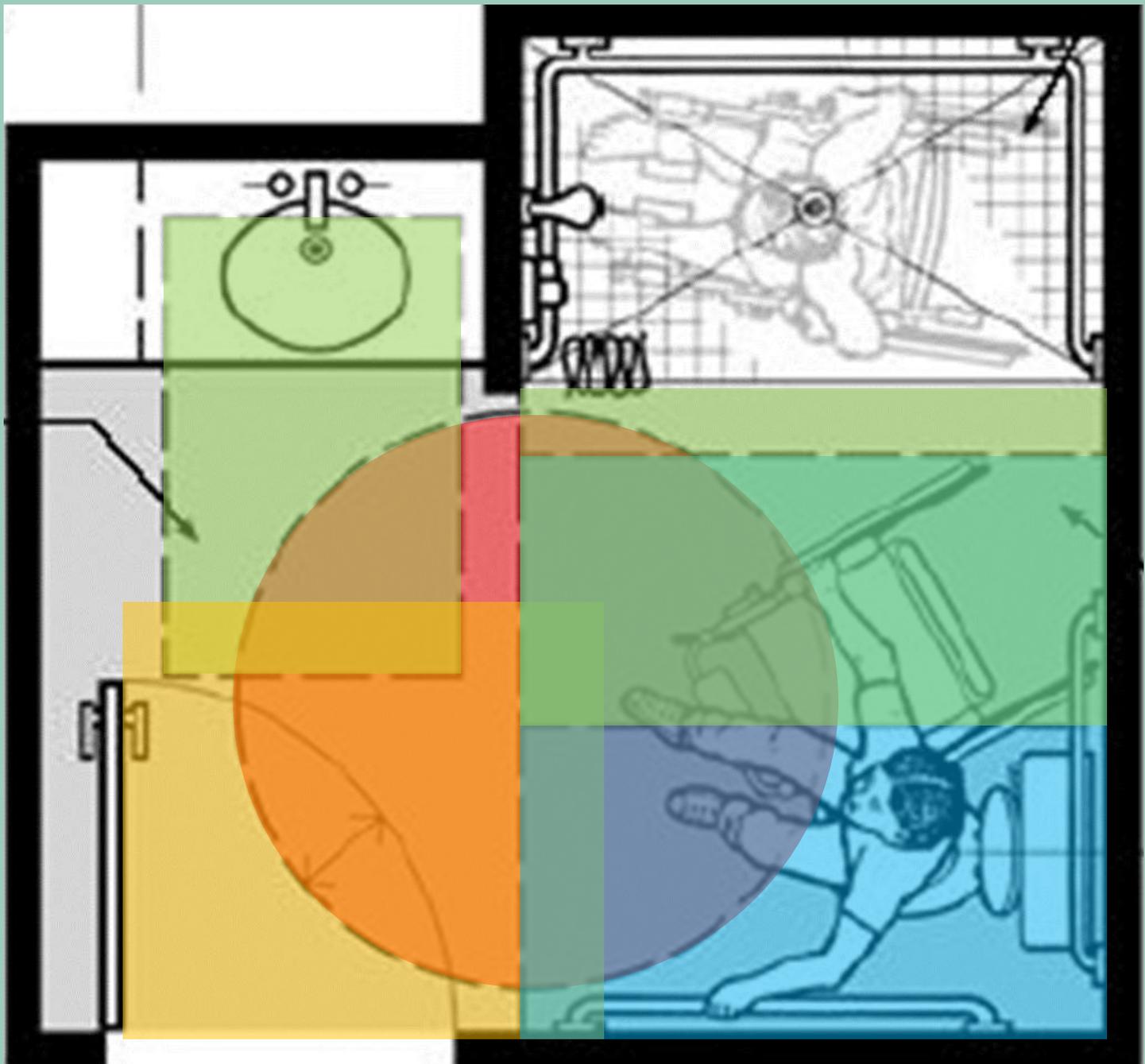


accessible kitchens and employee work areas



Toilet and bathing rooms that are provided as part of a patient or resident sleeping room must comply with 603.

(805.4)





next



section



changes

From our (former) Program Manager

ROVING REPORTER

CURRENT NEWS





changes to Administrative Rules (Chapter 68)

Dateline May 15, 2017... Changes made to Administrative Rules. Clarifications, additions, Public ROW section deleted.



OTHER, NEWER NEWS

FROM OUR FIELD REPORTER:
“other changes coming”



confidence expressed

“updating RAS procedures”

section



An aerial photograph of a person running on a tennis court. The person is wearing a blue shirt, dark pants, a red cap, and bright yellow-green shoes. They are running from the bottom left towards the top right. The court is divided into two halves by a white line. The bottom half of the court is a teal color, and the top half is a darker green. The text 'what we were doing before' is written in white on the teal background on the left, and 'something different' is written in white on the teal background on the right.

what we
were doing
before

some-
thing
different



ADA + TAS

- Developed for buildings and facilities
- Difficult to adapt to pedestrian elements in the public ROW

(old AB Admin Code 68.102 = 7 para, 10 sentences)

~~Proposed~~ Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way

- *Published by the Architectural and Transportation Compliance Board on July 26, 2011, 36 CFR Part 1190*
- *May 15, 2017:*
 - *Adopted by TXDOT*
 - *TDLR AB approved alternative standard*
- *Old Admin Code 68.102 removed from standards*

presenting

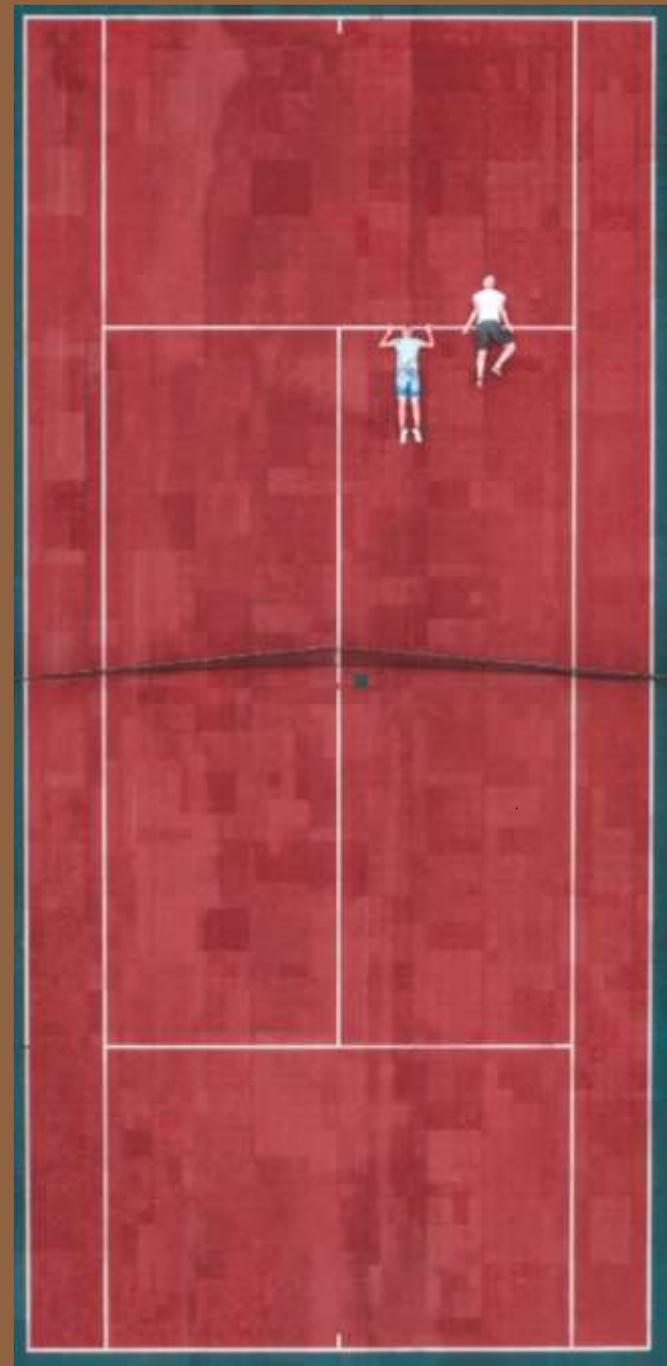
“PROWAG”

Public Right-of-Way Accessibility Guidelines

Public ROW projects that are permitted or whose plans are issued after **May 15, 2017:**

May use either TAS or PROWAG if no federal DOT money is involved.

Must use PROWAG when federal DOT money is provided.



PROWAG or TAS

Cannot use part of one



and part of the other.

PROWAG and TAS



Unlike other referenced codes, RAS will inspect for compliance to PROWAG just as they do for TAS.

PROWAG Chapters

- Ch R1 Application and Administration
- Ch R2 Scoping
- Ch R3 Tech Requirements
- Ch R4 Supplementary Tech Requirements

PROWAG vs TAS

- accessible route
- clear space
- curb ramps
- protruding objects
- detectable warnings
- street parking





accessible route

36" wide min.

TAS 403.5.1

48" wide min.

PROWAG R302.3

60" @ medians & islands

PROWAG R302.3.1



running slope

the running slope of walking surfaces cannot be steeper than 1:20 (5%)

TAS 403.3

pedestrian access routes **along a street or highway** right-of-way cannot exceed the general grade established for the **adjacent street or highway**

PROWAG R302.5



cross slope

the cross slope of walking surfaces cannot be steeper than 1:48 (2.08%)

TAS 403.3

at pedestrian **street crossings without yield or stop control**, the cross slope of the pedestrian access route is **5% max**

PROWAG R302.6.1



cross slope

the cross slope of walking surfaces cannot be steeper than 1:48 (2.08%)

TAS 403.3

at midblock pedestrian street crossings, the cross slope of the pedestrian access route can be equal the street or highway grade

PROWAG R302.6.2

running slope
cross slope



TAS – NOT COMPLIANT
PROWAG - COMPLIANT

clear spaces

Changes in level $>2.08\%$
are not permitted in CFS.

TAS 305.2

Surfaces of clear spaces
can have a running slope
consistent with **the grade
of the adjacent ped
access route**, and cross
slope of 2% max.

PROWAG R404.2



reach

Obstructed High Reach.

TAS 308.3.2

Forward reach over an obstruction is not permitted.

PROWAG R406.2



TAS – COMPLIANT

PROWAG - NOT COMPLIANT

transitional segments

transitional segments of pedestrian access routes connecting to existing unaltered segments of pedestrian circulation paths must comply with R302 to the extent practicable*

PROWAG R202.3.2

*variance required



TAS – NOT COMPLIANT

PROWAG - NOT COMPLIANT



curb ramps

Diagonal Curb Ramps.

TAS 406.6

There are two kinds of curb ramps:

Perpendicular - 304.2

Parallel - 304.3

PROWAG R304.1 ADVISORY



curb ramps

Typically, **two curb ramps must be provided** at each street corner. PROWAG preamble & analysis of R207

In **alterations** where existing physical constraints prevent two curb ramps from being installed at a street corner, a single diagonal curb ramp is permitted at the corner.

PROWAG R207.2

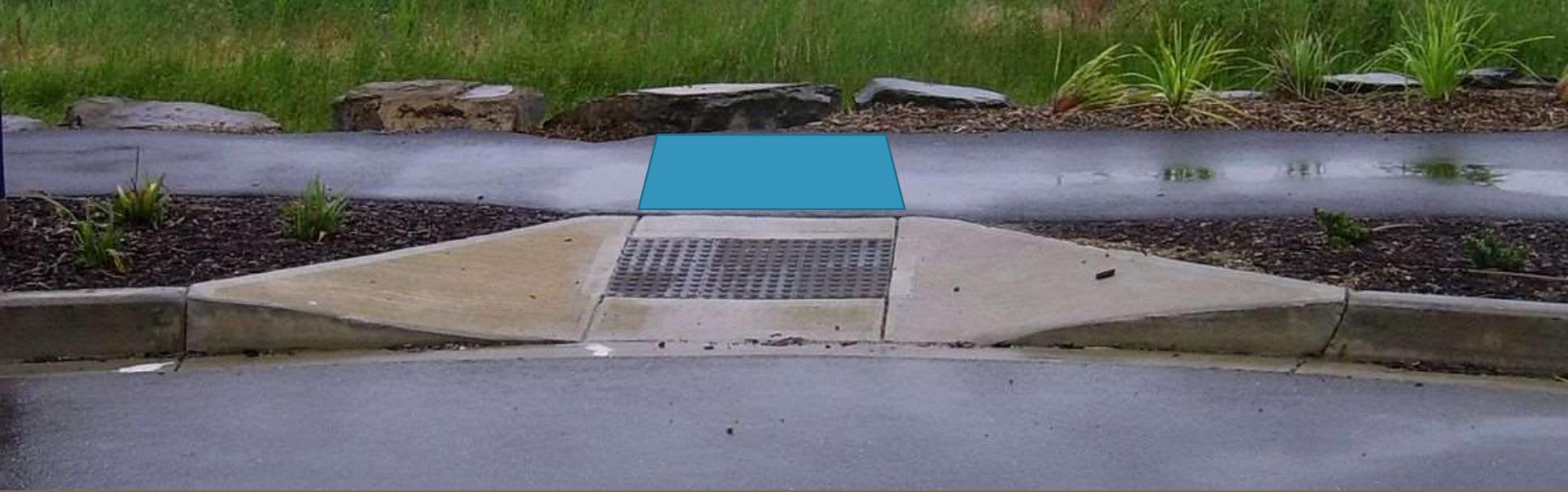


TAS - COMPLIANT
PROWAG - NOT COMPLIANT

street crossings

The pedestrian access route shall **connect departure and arrival sidewalks.** PROWAG R204.3

A curb ramp, blended transition, or a combination ... shall **connect the pedestrian access routes** at each pedestrian street crossing. PROWAG R207.1



landings

Ramp landings must be the same width as the ramp (36" min) and 36" long minimum TAS 406.4

Ramp landings must be the same width as the ramp (48" min) and 48" long minimum. PROWAG R304.3



refuge islands

Landings in refuge islands must be at least 36" wide

TAS 406.7

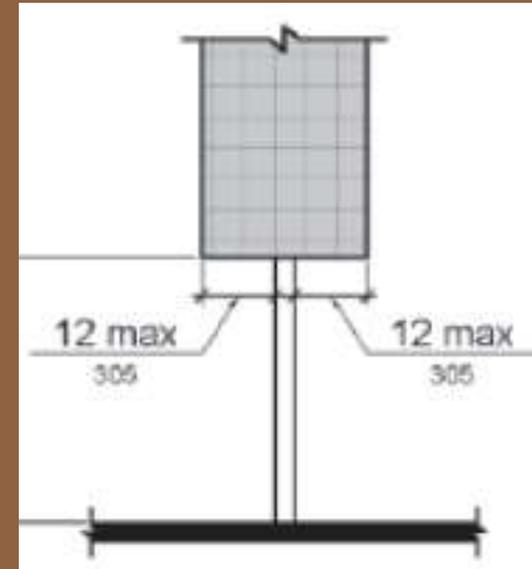
The clear width of the access route in medians and refuge islands must be at least 5' wide.

PROWAG R302.3.1

post mounted object

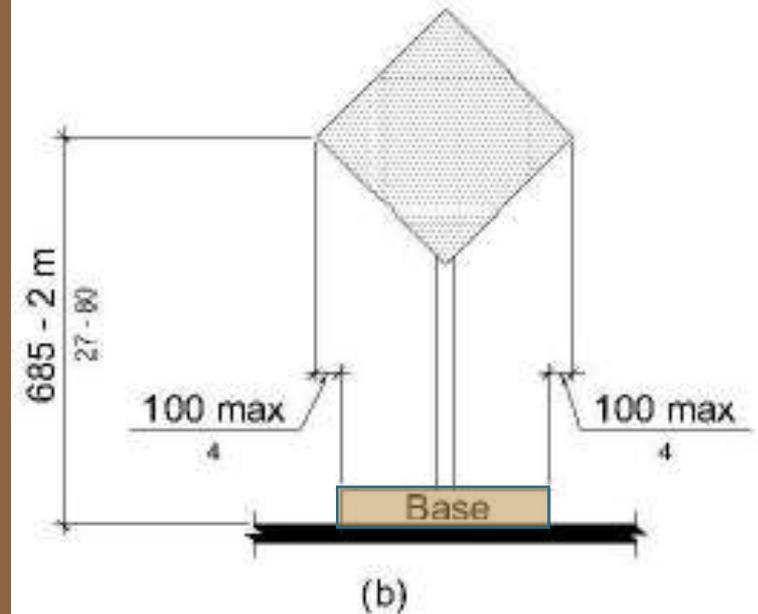
Free-standing objects mounted on posts can overhang circulation paths 12" max

TAS 307.3



Where objects are mounted on free-standing posts or pylons, the objects can overhang pedestrian circulation paths 4" max measured from the post or pylon base.

PROWAG R402.3



post mounted objects

The base must be 2½" thick minimum.

PROWAG R402.3





TAS - COMPLIANT
PROWAG - NOT COMPLIANT

TAS - COMPLIANT
PROWAG - NOT COMPLIANT





detectable warnings

detectable warnings are required at bus or train platform boarding areas

TAS 705 & 810.5.2



detectable warnings

Detectable warning surfaces shall be provided at:
Curb ramps and blended transitions at
pedestrian street crossings

PROWAG R208.1

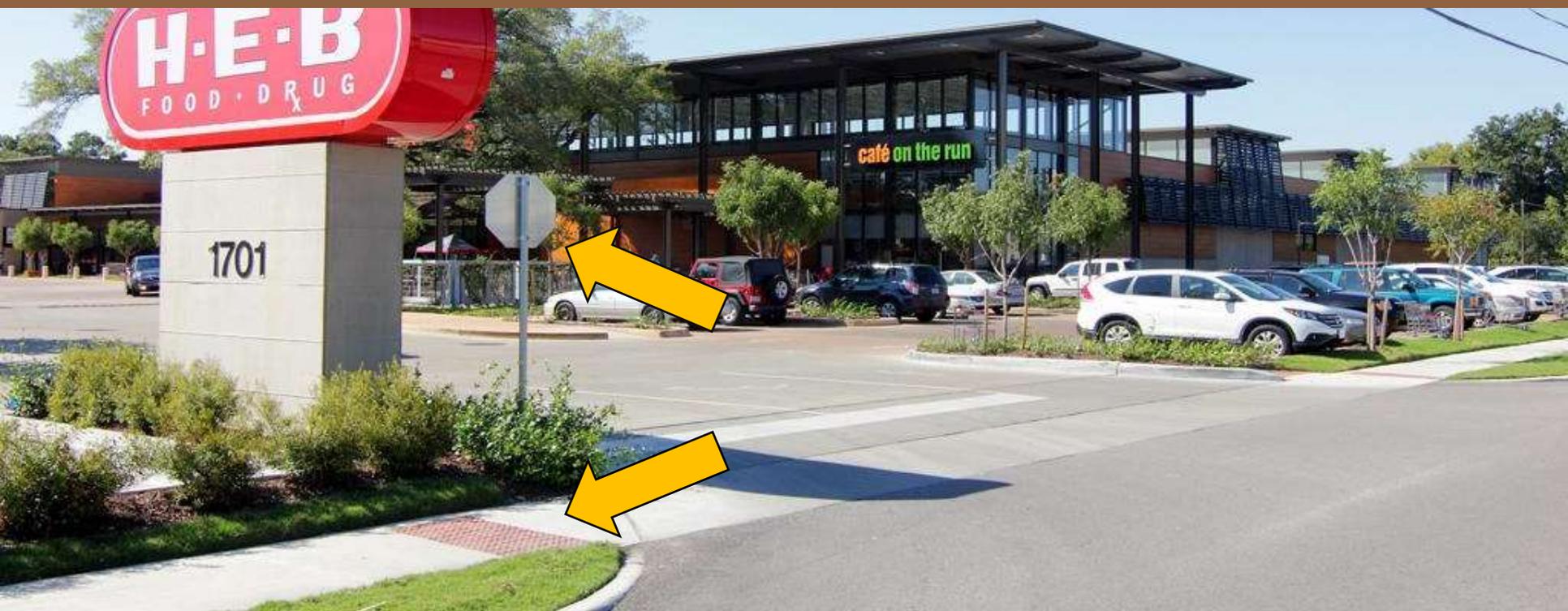


detectable warnings

Detectable warning surfaces shall be provided at:

At-grade pedestrian refuge islands $> 6'$ long

PROWAG R208.1



detectable warnings

Where commercial driveways are provided with yield or stop control, detectable warning surfaces should be provided at the junction between the pedestrian route and the vehicular route.

PROWAG R208.1 Advisory

detectable warnings



Detectable warning surfaces should not be provided at crossings of residential driveways since the pedestrian right-of-way continues across residential driveway aprons.

PROWAG R208.1 Advisory



detectable warnings

detectable warning surfaces... shall extend the full length of the public use area of the platform

TAS 705.2

Some detectable warning products require a concrete border for proper installation. The concrete border should not exceed 2".

PROWAG R305.2 Advisory



street parking

Where parking pay stations are provided and the parking is not marked, each 20 ft of block perimeter where parking is permitted shall be counted as one parking space.

PROWAG R214

signs



Parking spaces complying with 502 shall be identified by signs complying with 502.6. TAS 216.5

At accessible parallel parking spaces and accessible passenger loading zones, the signs shall be located at the **head or foot** of the parking space or passenger loading zone.

PROWAG R211.4



street parking

Parking spaces shall be dispersed and located on the shortest accessible route to the accessible entrances they serve

TAS 208.3.1

Accessible parking spaces should be located where the street has the **least crown and grade**, and close to key destinations

PROWAG R309.1 Advisory



street parking

Parking and access aisle: Changes in level are not permitted

TAS 502.4



street parking

Access aisles serving car and van parking spaces shall be 60" wide min. TAS 502.3.1

Where perpendicular or angled parking is provided, an access aisle **8' wide min** shall be provided...

PROWAG R309.3



street parking

In alterations where the street or sidewalk adjacent to the parking spaces is not altered, an **access aisle shall not be required** provided the parking spaces are located at the end of the block face.

PROWAG R309.2.1.1

street parking

An access aisle is not required where the width of the adjacent sidewalk or available right-of-way is ≤ 14 ft.

When an access aisle is not provided, the parking spaces shall be located at the end of the block face.

PROWAG R309.2.2





street parking

The sidewalk adjacent to accessible parallel parking spaces should be free of signs, street furniture, and other obstructions to permit deployment of a van side-lift or ramp or the vehicle occupant to transfer to a wheelchair or scooter.

PROWAG R309.2 Advisory

DONE!



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QUESTIONS?